

COMPREHENSIVE PLAN LAND USE MAP
AMENDMENT/ZONE CHANGE

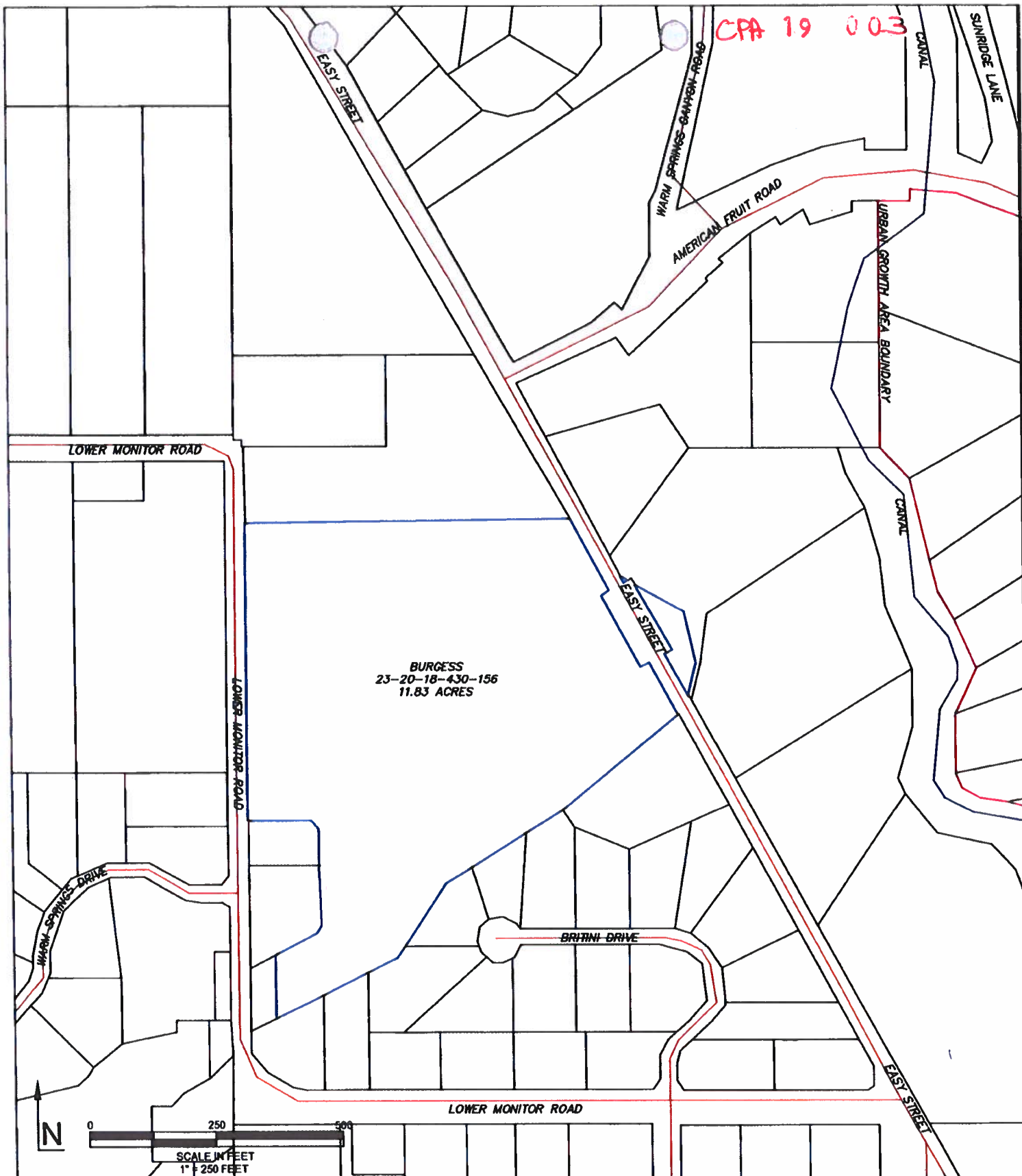
VICINITY MAP

SITE: LOWER MONITOR ROAD
WENATCHEE, WA 98801

PARCEL: 23-20-18-430-156

APPLICATION BY: SHILOH BURGESS
1605 EASY STREET
WENATCHEE, WA 98801

SHEET NO. 1 OF 4 DATE: 2/21/19



COMPREHENSIVE PLAN LAND USE MAP
AMENDMENT/ZONE CHANGE

LOT LOCATION

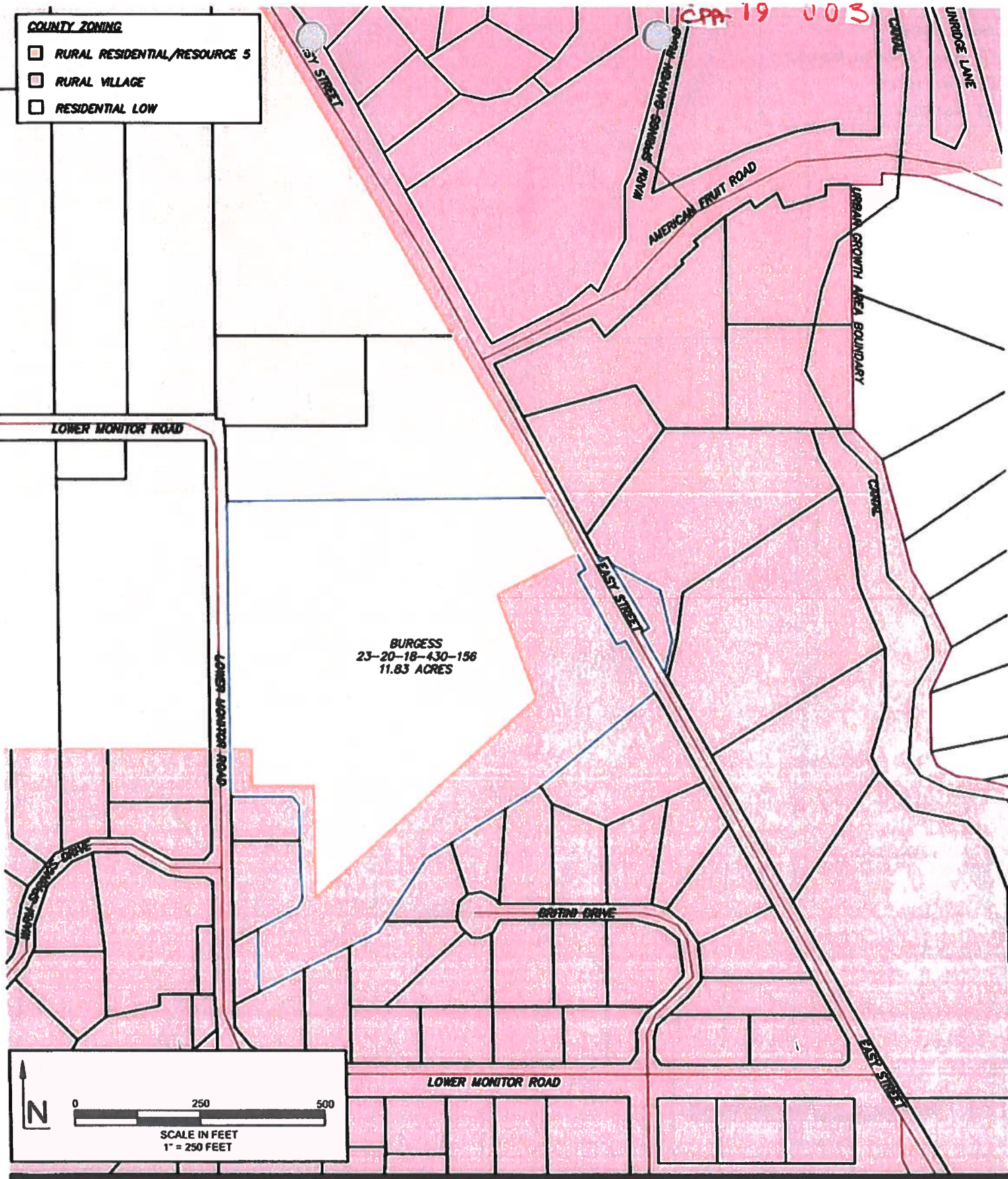
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WENATCHEE, WA 98801

PARCEL: 23-20-18-430-156

APPLICATION BY: SHILOH BURGESS
1605 EASY STREET
WENATCHEE, WA 98801

COUNTY ZONING

- ☐ RURAL RESIDENTIAL/RESOURCE 5
- ☐ RURAL VILLAGE
- ☐ RESIDENTIAL LOW



CPA 19 003

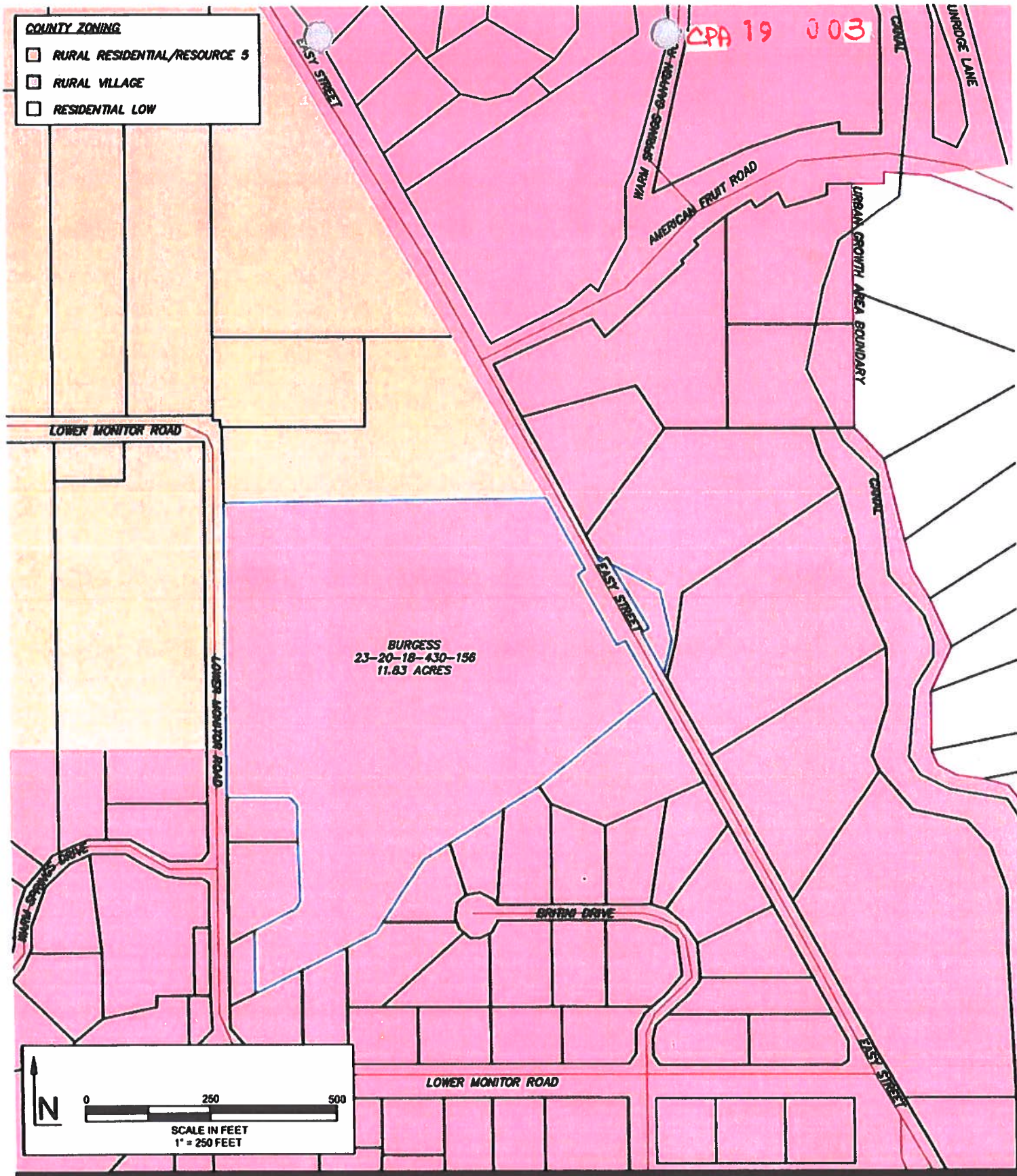
COMPREHENSIVE PLAN LAND USE MAP
AMENDMENT/ZONE CHANGE

EXISTING ZONING

SITE: LOWER MONITOR ROAD
WENATCHEE, WA 98801

PARCEL: 23-20-18-430-156

APPLICATION BY: SHILOH BURGESS
1605 EAST STREET
WENATCHEE, WA 98801



COMPREHENSIVE PLAN LAND USE MAP
AMENDMENT/ZONE CHANGE

PROPOSED ZONING

SITE: LOWER MONITOR ROAD
WENATCHEE, WA 98801

PARCEL: 23-20-18-430-156

APPLICATION BY: SHILOH BURGESS
1605 EASY STREET
WENATCHEE, WA 98801

SHEET NO. 1 OF 1 DATE: 2/21/18



09.06.2019



09.06.2019

WENATCHEE HOUSING CODE UPDATE

Draft August 16, 2019

Below is a listing of the document titles listing the various chapters and sections of Wenatchee's City Code that are being amended as a part of this project. Sub-bullets under each document list applicable sections that have been amended since August 2:

- Wenatchee Definitions: Updated Chapter 10.08 (Starting on Page 2 of 148)
 - Added a new definition for "Manufactured Home Community"
- Wenatchee Permitted Residential Uses: Edits to Chapter 10.10 (Starting on Page 6 of 148)
 - 10.10.020 District use chart
 - Added permission P₁₂ for single family dwelling in the RH zone and
 - Added use permissions for single family cluster and single family courtyard. Previously, these cells were empty.
 - Made student housing a permitted use in the OMU Zone.
 - Added "~" to empty cells for Live-work dwellings.
- Wenatchee Development Standards Charts: Updated Chapter 10.46 (Starting on Page 9 of 148)
 - Adding a new section 10.46.075 (Lot line angles)
- Wenatchee Residential Use Standards: New Chapter 10.47 (Starting on Page 27 of 148)
 - 10.47.070(2)(b)(iii)(new clarifying subsection re maximum number of lots)
 - 10.47.070(2)(e)(i) (edit relating to existing lots/infill cottages)
 - 10.47.070(2)(e)(ii) (edit relating to parent lot/multiple infill cottages)
 - 10.47.070(2)(f)(ii) (new clarifying subsection/cottages)
 - 10.47.080(2)(f)(iii) (edits relating to shared driveway for infill cottages)
- Wenatchee General Development Regulations: Updated Chapter 10.48 (Starting on Page 54 of 148)
 - 10.48.020(1) (edit relating to lot access)
- Wenatchee Landscaping Standards Updated Chapter 10.62 (Starting on Page 60 of 148) – No Changes from August 2 draft
- Wenatchee Miscellaneous Title 10 Code Changes (Associated with this Residential Code Update) (Starting on Page 64 of 148) – No Changes from August 2 draft
- Wenatchee Miscellaneous Title 11 Code Changes (Associated with this Residential Code Update) (Starting on Page 76 of 148) – No Changes from August 2 draft
- City of Wenatchee Proposed Residential Design Guidelines for Public Review (Starting on page 80 of 148) – No Changes from August 2 draft

WENATCHEE DEFINITIONS: UPDATED CHAPTER 10.08

Draft August 16, 2019

NOTES:

- Only those sections/subsections with proposed changes are shown.
- All definitions are new, except for those that are tracked.

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10.08.050 "C."

~~"Carriage unit" means a single family dwelling unit, not to exceed 800 square feet in floor area, located above a garage structure in a cottage housing development.~~

"Cottage housing" refers to means four or more small and mostly, detached individual dwelling units sharing commonly owned open space, courtyard and parking area(s). (Ord. 2011 49 § 4 (Exh. B); Ord. 2011 24 § 4; Ord. 2010 03 § 1 (Exh. A); Ord. 2007 34 § 2 (Exh. A)). Lots where two to three cottage houses are proposed (referred to as "infill-cottage housing") are subject to the provisions of WMC 10.47.060. Lots where four or more cottage houses are proposed are subject to the provisions of WMC 10.47.070.

"Courtyard housing" means small multifamily units arranged around a courtyard and complying with the provisions of WMC 10.47.090.

10.08.055 "D."

~~"Dwelling, attached single family" means at least two or more permanent attached residential living units each containing sufficient facilities to function as an independent dwelling unit such as a townhouse or row house. Each dwelling unit is located on a separate lot.~~

"Dwelling, multifamily" means three or more attached ~~or detached~~ residential dwelling units on one lot or parcel.

10.08.070 "G."

"Ground-related residential units" refers to dwelling units that contain individual entrances at or near the ground level.

10.08.075 "H."

"Height, building" means the vertical distance measuring the height of buildings as set forth in WCC 10.46.090~~ed from the average elevation of the proposed finished grade adjacent, within two feet, to the building foundation to the highest point of a flat roof or the mean height between the eaves and ridge of a pitched roof, excluding chimneys, antennas, church spires and other secondary roof structures. No building shall have a nonaveraged height measured from the finished grade to the highest point of the building as to exceed the underlying maximum height by an extent equal to or greater than 15 percent.~~

~~Height, Story. See definition for "story."~~

10.08.095 "L."

"Live-work dwelling" means a dwelling unit designed to accommodate a small commercial enterprise on the ground floor and a residential unit above and/or behind. See WMC 10.47.110 for applicable standards.

"Lot, flag" means a parcel of land, the body of which is separated from a public street by one or more lots, connected to a public street by a narrow portion (flag pole) of the parcel. See WCC 10.46.080(6) for flag lot setback standards.

"Lot, single family courtyard" means a group of lots sharing a driveway. See WCC 10.47.060 for single family courtyard standards.

"Lot width" means the dimension measured ~~to determine the width of proposed lots as set forth in WCC 10.46.070 at the building line or at the front lot line as it adjoins the street; the dimension across the rear of the required front yard setback on an irregularly shaped lot; the narrow dimension of the lot at the street or building line for a corner lot. (Ord. 2016-22 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))~~

10.08.100 "M."

"Manufactured Home Community" means an area of land occupied, or designed for occupation, by four or more designated manufactured homes on a lease, ownership, or cooperative basis and operated as a single development.

"Mixed-use" means any combination of permitted residential, commercial, light industrial, office, institutional, and/or other land uses ~~either within one development or within one~~ zoning district. Mixed-use buildings or developments refer to buildings or developments that combine permitted residential uses with permitted non-residential uses.

10.08.130 "S."

"Setback distance" means the minimum distance required by this title for buildings to be set back from property lines, rights-of-way or private drives.

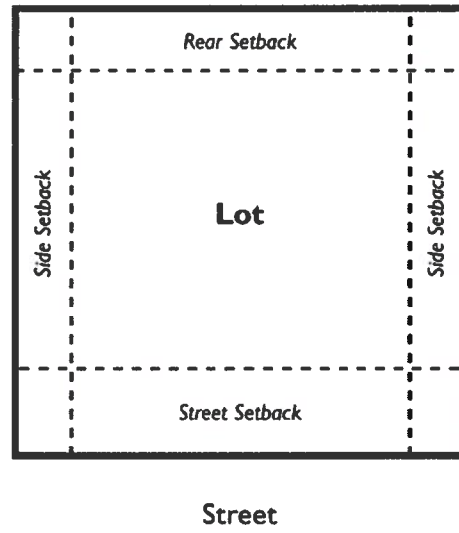
"Setback line" means a line which is parallel to a lot line located at the distance required by the setback.

"Setback" means the minimum distance required distance by this title for buildings to be set back from property lines, rights-of-way or private drives. Types of setbacks include:

- (1) Street setback.
- (2) Street setback, garage, carport.
- (3) Side setback.
- (4) Rear setback.
- (5) Interior setback.

Figure 10.08.130 shows the location of some setback types on a typical lot. See WMC 10.46.080 for clarification on how all setback types are measured.

**Figure 10.08.130
Setback types.**



"Single-family cluster" means a development with multiple single-family dwellings clustered on relatively small lots and integrating common open space. See WCC 10.47.050 for applicable development standards.

"Single-family courtyard" means a development of single-family dwellings generally served by a shared private lane. See WCC 10.47.060 for applicable development standards.

"Site area" means the total horizontal area within the property lines excluding external streets, except where property lines extend waterward of the ordinary high water mark (OHWM) in which case the site area is the total horizontal area landward of the OHWM and excluding external streets.

10.08.135 "T."

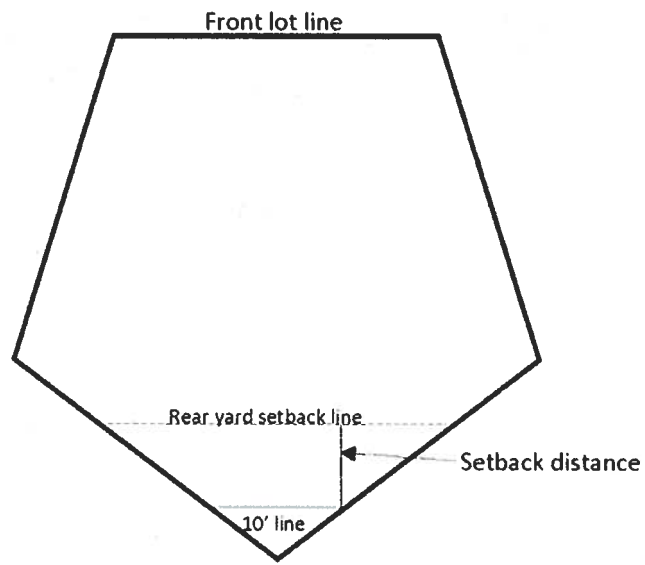
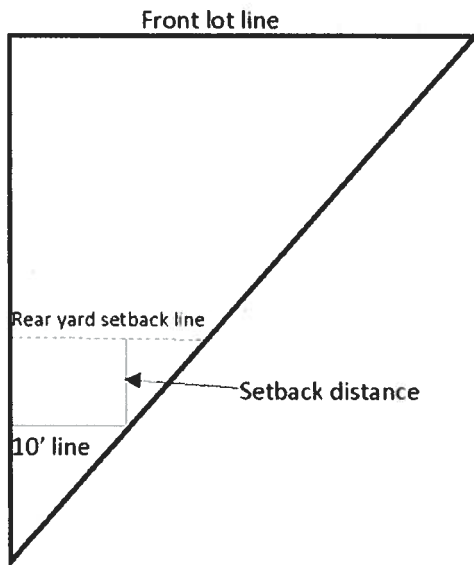
"Townhouse" means a row of at least three attached single-family dwelling units in which each unit has its own front access to the outside, no unit is located over another unit, and each unit is separated from any other unit by one or more common walls. Townhouses are also referred to as "Zero lot line residences". Townhouse design standards are set forth in WMC 10.47.100.

10.08.160 "Y."

~~"Yard" means a required open space from the ground upward between a property line and a building line.~~

~~"Yard, front" means a yard extending the full width of the lot, and lying between the front line of the lot and the building setback line. On through lots, a front yard shall be maintained on both street frontages. On corner lots, front yards shall be maintained on both street frontages.~~

~~"Yard, rear" means a yard extending the full width of the lot and lying between the back line of the lot and the building setback line. Rear yards shall be at the opposite end of a lot from the front yard. On corner lots, only one rear yard is required and can be opposite either front yard. In the case of triangular or otherwise irregularly shaped lots, the rear yard setback is measured from a line 10 feet in length entirely within the lot, parallel to and at a maximum distance from the front lot line.~~



~~"Yard, side" means a yard extending between the front setback line and the rear property line and between the side property line and the building line. (Ord. 2016-22 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))~~

WENATCHEE PERMITTED RESIDENTIAL USES: EDITS TO CHAPTER 10.10

Draft August 16, 2019

NOTES:

- Only those sections/subsections with proposed changes are shown.
- Proposed changes are [tracked](#).
- WCC cross-references below are proposed new code numbers

10.10.020 District use chart. [See also referenced code sections.](#)

District Use Chart

Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Residential (Most residential developments are also subject to the Residential Design Guidelines)																			
Single-family dwelling (WCC 10.47.040)	~	P ₁₂	P ₁₂	P ₁₂	~	~	P ₁₁	P	P	P	P	P	P ₁₂	~	~	P	~	~	~
Single-family cluster (WCC 10.47.050)	~	~	~	~	~	~	~	~	~	P	P	~	~	~	~	~	~	~	~
Single-family courtyard (WCC 10.47.060)	~	~	~	~	~	~	~	~	~	P	P	P	~	~	~	~	~	~	~
Cottage housing (WCC 10.47.070-.080)	~	~	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	~	~
Duplex (WCC 10.47.090)	~	P ₁₂	P ₁₂	P ₁₂	~	~	P ₁₁	P	~	P	P	P	P	~	~	P	~	~	~
One-to-two-unit dwellings	P ₊	P ₊	P ₊	P ₊	~	~	P	P	~	P	P	P	P	P ₊	P ₊	P	~	P ₊	P ₊
Courtyard housing (WCC 10.47.100)	~	~	P	~	~	~	P	P	~	P ₁₀	P ₁₀	P	P	~	~	P	~	P	P
Townhouses (WCC 10.47.110)	~	P ₁₂	P	P ₁₄	~	~	P	P	~	P ₁₀	P ₁₀	P ₁₀	P	~	~	P	~	P	P
Live-work dwellings (WCC 10.47.120)	~	P	P	P	~	P	P	P	~	~	~	~	P	P	P	P	~	~	~
Multifamily dwellings (WCC 10.47.130)	P ₁₃	P ₊	P ₊	P ₁₄	~	P	P	P	~	~	~	P	P	P ₁	P ₁	P	~	P	P
Mixed-use building or development (WCC 10.47.140)	P	P	P	P	~	P	P	P	~	~	~	~	~	P	P	P	~	P	P
Accessory building, residential	~	~	~	~	~	P	P	P	P	P	P	P	P	~	~	P	~	P	P
Accessory dwelling unit (ADU) (WCC 10.47.030)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~

Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Adult family home	AU	AU	AU	AU	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	~
Bed and breakfast (WCC 10.48.100)	P	~	~	~	~	P	P	P	C	P	P	P	P	P	~	P	~	P	P
Transient rental ⁵	P	~	~	~	~	P	P	P	~	~	~	~	~	P	~	P	~	P	P
Family day care (12 or fewer children)	AU	AU	~	AU	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	P
Farm animals, large and small (WCC 10.48.110)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Group home (six or less)	~	~	~	~	~	~	P	P	C	P	P	P	P	~	~	P	~	~	P
Group home (seven or more)	P ₁	P ₁	P ₁	P ₁	~	C	C	C	C	C	C	C	P	P ₁	P ₁	C	C	C	C
Home occupation	~	~	~	~	~	~	P	P	C	C	C	P	P	~	~	P	~	~	P
Home occupation, mailing address only (WCC 10.48.140)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	P
Manufactured home ¹ (WCC 10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Manufactured home, designated (WCC 10.48.200)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Manufactured/mobile home park (as a residential planned development) (WCC Chapter 10.42)	~	~	~	~	~	P ₁₂	P ₁₂	P ₁₂	~	P ₁₂	P ₁₂	P ₁₂	P ₁₂	~	~	P ₁₂	~	~	~
Manufactured home community (WCC 10.47.160)	~	~	~	~	~	~	~	~	~	P	P	P	~	~	~	~	~	~	~
Mobile home ² (WCC 10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Modular home (WCC 10.48.200)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Residential planned developments Chapter 10.42 WCC	Residential planned developments are permitted only when approved prior to (INSERT ADOPTION DATE OF THIS ORDINANCE)																		
Student housing	~	~	~	~	~	~	~P	~	~	~	~	C	P	~	~	P	~	~	~

¹ Manufactured homes are permitted only within a mobile/manufactured home park.

² Mobile homes are permitted only within a mobile/manufactured home park.

³ Storage containers in the NWBD/SWBD must be 100 percent screened from the public right-of-way.

⁴ Marijuana production is permitted indoors only; no outdoor production is allowed.

⁵ Code reviser's note: Ordinance 2009-08 added transient rentals as a permitted residential use. Ordinance 2014-32 inadvertently omitted transient rentals from the district use chart. The use has been restored here per the city's intent.

⁶ Minimum 10 dwelling units per acre of ~~townhouses~~~~attached single-family dwelling units~~.

⁷ Storage of building materials or equipment rental supplies in the NWBD north of the Wenatchee River shall be located to the rear of buildings, fully screened from view of any public right-of-way, and not located within 200 feet from the edge of the public right-of-way.

⁸ Mini-storage and all associated uses in the NWBD north of the Wenatchee River shall be located within a completely enclosed building.

⁹ Adaptive reuse of drive-in or drive-through facilities in existence as of May 9, 2019.

¹⁰ Townhouses and courtyard housing in this zone are limited to no more than 4 attached units facing a public street in one structure.

¹¹ Only on lots of less than 12,000 SF existing prior to (ADD ADOPTION DATE OF THIS ORDINANCE).

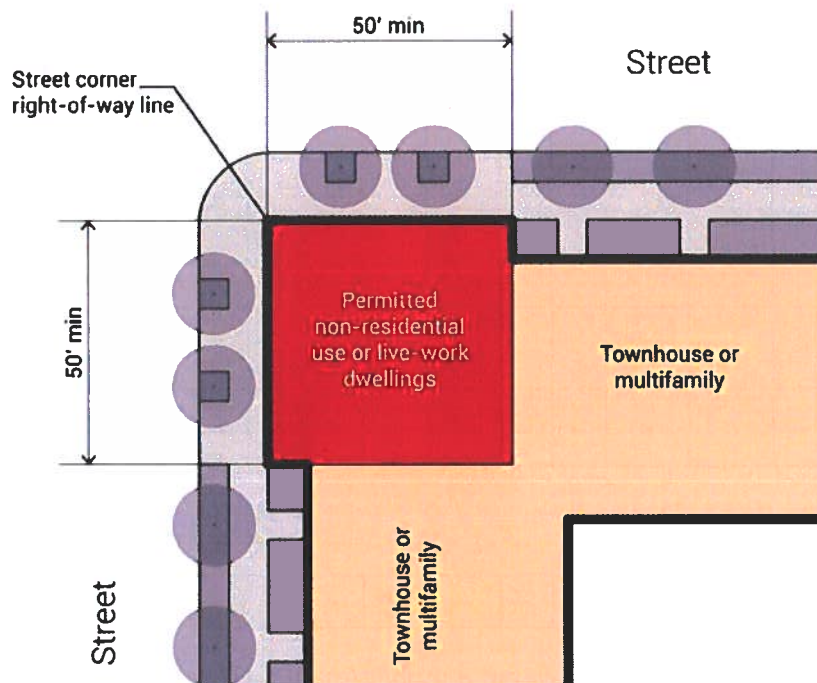
¹² Only such uses in existence as of (ADD ADOPTION DATE OF THIS ORDINANCE) are considered a permitted use.

¹³ Subject use is not allowed on the ground level designated pedestrian-oriented streets (per Figure C.1.d in the Residential Development Guidelines).

¹⁴ For street-corner sites, the townhouses and multifamily uses are allowed on the ground-level provided permitted non-residential uses and/or live-work dwellings occupy the portion of the building within 50-feet of the corner property line (see Figure 10.10.020 as an example). Exception: The subject use is allowed on street corner ground-level building frontages provided the development integrates permitted non-residential uses and/or live-work dwellings within buildings along at least 75-feet of either street's building frontage.

Figure 10.10.020

Clarifying ground level use residential use provisions on corner sites in the NC zone.



WENATCHEE DEVELOPMENT STANDARDS CHARTS: UPDATED CHAPTER 10.46

Draft August 16, 2019

NOTES:

- Only those sections/subsections with proposed changes are shown.
- All definitions are new, except for those that are tracked.

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10.46.010 Purpose.

A development chart and exceptions define the buildable area within the established districts. **Planned developments, Conditional uses and overlay districts may require additional or varying considerations.**

10.46.020 Residential development chart.

General Dimensional Standards. See Section 10.46.060-110 for measurement methods and Section 10.47 for more specific standards with respect to specific residence types. Where these standards conflict with Section 10.47, the City shall determine which requirement applies. Note that the column indicating conditions/exceptions/references is not all inclusive. There may be other conditions in WCC.

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
Minimum Lot Dimensions						
Lot area	7,250sf, except 10,000sf for a duplex	5,500sf, except 8,000sf for a duplex	3,000sf, except 4,500sf for a duplex	3,000sf, except 4,000sf for a duplex	20,000sf	<u>WCC 10.46.060</u>
<u>Cluster subdivision lot</u>	<u>3,600sf</u>	<u>3,000sf</u>	<u>N/A</u>	<u>N/A</u>		<u>WCC 10.47.050</u>
Lot width	70 feet	50 feet	30 feet	30 feet	100 feet	<u>WCC 10.46.070</u>
<u>Lot with alley access</u>	<u>50 feet</u>	<u>30 feet</u>	<u>25 feet</u>	<u>25 feet</u>	<u>100 feet</u>	
<u>Cluster subdivision lot</u>	<u>50 feet</u>	<u>30 feet</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	
Lot depth	100 feet	<u>98</u> feet	<u>80-65</u> feet	<u>67</u> feet	150 feet	<u>WCC 10.46.070</u>
<u>Cluster subdivision lot</u>	<u>80 feet</u>	<u>60 feet</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	
Setback Standards (WCC 10.46.080)						
<u>Front-Street - minimum</u>	20 feet ^{(X)(Y)} from the front property line plus any required additional ROW	20 feet ^{(X)(Y)} from the front property line plus any required additional ROW	15 feet from the front property line plus any required additional ROW	10 feet from the front property line plus any required additional ROW	25 feet from the front property line	<u>WCC 10.46.080(2)</u> ^(X) 15 feet from private lanes ^(Y) 15 feet for cluster subdivisions See also exception for unenclosed front porches in <u>10.46.080.1.</u>
<u>Street - minimum, individual garage, carport</u>	Must be setback at least 20-feet and meet the special setback provisions set forth in WCC <u>10.46.080(2)(b).</u>					
<u>Front-Street - maximum</u>	N/A	N/A	N/A	N/A	300 feet	<u>WCC 10.46.080(2)</u>
Rear - minimum	20 feet from the rear property line	20 feet from the rear property line	15 feet ^(X) from the rear property line	10 feet ^(Y) from the rear property line	45 feet from the rear property line	<u>WCC 10.46.080(3)</u> ^(X) 10 feet if adjacent to an alley. ^(Y) 15 feet for ground- related dwelling units

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
Side - minimum	5 feet from the side property line	5 feet from the side property line	5 feet from the side property line	6 feet from the side property line	10 feet from the side property line	<u>WCC 10.46.080(4)</u>
Internal - minimum	<u>10 feet</u> N/A	<u>10 feet</u> N/A	<u>10 feet</u> N/A	<u>10</u> 2 feet	N/A	<u>WCC 10.46.080(5)</u>
Building & Density Standards						
Maximum building height	30 feet* (see WCC 10.46.090 step-back requirements)	30 feet (see WCC 10.46.090 step-back requirements)	<u>35</u> 0 feet	4 stories above-grade and 60 feet	30 feet	<u>WCC 10.46.090</u>
Maximum lot coverage	40%	45%	55%	55%	20%	<u>WCC 10.46.100</u>
<u>Duplexes, townhouses & multifamily</u>	<u>50%</u>	<u>55%</u>	<u>55%</u>	<u>55%</u>	<u>N/A</u>	^(x) <u>WCC 10.46.100 (2)(a)</u>
Cluster lots	<u>55%</u> 50	55%	N/A	N/A	N/A	
<u>Maximum density</u> Maximum Primary Units	<u>6 dwelling units per acre</u> 1 dwelling unit per lot	<u>8 dwelling units per acre</u> 1 dwelling unit per lot	<u>20 dwelling units per acre</u> 2 dwelling units per lot	<u>40 dwelling units per acre</u> 25 dwelling units per acre	1 dwelling unit per lot	<u>WCC 10.46.110</u>

10.46.030 Mixed use development chart.

General Dimensional Standards.

Standard	OMU	WMU	RMU	Conditions/ Exceptions / Reference
Minimum Lot Dimensions				
Minimum lot area	3,000sf	None	5,000sf	WCC 10.46.060
Lot width	40 feet	None	40 feet	WCC 10.46.070
Lot with alley access	30 feet	None	30 feet	
Lot depth	80 feet	None	80 feet	WCC 10.46.070
Minimum Setbacks (WCC 10.46.080)				
Front Street	10 feet from front property line plus any required additional public right-of-way*	None except for any required additional public right-of-way*	10 feet from the front property line, except 25 feet for frontage on Orondo Ave. *	WCC 10.46.080(2) * Minimum distance from the centerline of the right-of-way equal to one-half of the required public right-of-way based on the public road classification; and for private roads, one-half of the required easement.
Front Street, individual garage, carport	20 feet* Must be setback an additional 5 feet greater than a ground-related unit.	20 feet* Must be setback an additional 5 feet greater than a ground-related unit.	20 feet* Must be setback an additional 5 feet greater than a ground-related unit.	WCC 10.46.080(2) and WCC 10.46.080(2)(b) * Standard applies to private garages and carports where the entry faces the street
Rear	20-10 feet	None	20-10 feet	WCC 10.46.080(3) and WCC 10.46.080(3)(f)
Side	5 feet ^(x)	None	5 feet	WCC 10.46.080(4) ^(x) WCC 10.46.080(4)(d) When adjacent to a residential zone the minimum setback increases by 1-foot for every two feet of additional building height over 20 feet.
Building & Density Standards				
Maximum building height	4-stories above grade and 60-feet	6-stories above grade and 90 feet^{(x)(*)}	4-stories above grade and 60 feet	WCC 10.46.090 ^(x) 60 feet between First & Kittitas Streets ^(*) Building height may be further limited within 200 feet of the ordinary high water mark of the Columbia River or associated wetlands in accordance with the city's adopted shoreline master program.

Standard	OMU	WMU	RMU	Conditions/ Exceptions / Reference
Maximum lot coverage	50% ^(X) 75%**	100%	35% ^(X) 50%*** 75%**	<u>WCC 10.46.100</u> *50 percent for all buildings of a 2-story development; less 5 percent for each additional story up to 4 stories (X) WCC 10.46.100(2)**75- percent allowed for projects that employ structured parking for 80 percent of their required parking ***50 percent for conditional uses

10.46.040 Nonresidential development chart.
General Dimensional Standards.

Standard	CN	CBD	NWBD and SWBD	I	Conditions/ Exceptions/ Reference
Minimum Lot Dimensions					
Lot area	10,000sf	None	None	3,000sfNone	<u>WCC 10.46.060</u>
Lot width	60 feet	None	None	40 feet	<u>WCC 10.46.070</u>
Lot with alley access	40 feet	None	None	40 feet	
Lot depth	100 feet	None	80 feet	80 feet	
Setback Standards (WCC 10.46.080)					
Front Street - minimum*	0-10 feet ^(X) minimum for ground-floor residential uses*** No setback required if the project meets the standards for pedestrian-oriented facades in Residential Development Guideline E.4	0-10 feet ^(X) 0 feet Lots that have frontage on Wenatchee Avenue shall adhere to a setback of 45 feet from the centerline	0-10 feet ^(X) 10 feet maximum for ground-level non-residential uses** 10 feet minimum for ground-floor residential uses***	0 feet ^(Y) from the front property line or 35 feet from the street centerline, whichever is greater	<u>WCC 10.46.080(2)</u> (X) <u>WCC.10.46.080(2)(d)</u> (Y) <u>WCC.10.46.080(2)(d)(v)</u> *Minimum setbacks shall accommodate minimum sidewalks widths per district, street, or block as noted below. *** See Residential Development Guideline C.1.1.

Standard	CN	CBD	NWBD and SWBD	I	Conditions/ Exceptions/ Reference
<u>Front Street - maximum</u>	<u>15 feet for ground level non-residential uses^(X)</u>		<u>15 feet for ground level non-residential uses^(X)</u>		^(X) <u>10.46.080(2)(d)(vi)</u>
Minimum sidewalk widths	10 feet	12 feet	10 feet		<u>10.46.080(2)(d)(i)</u>
Front Street - minimum, individual garage, carport	20 feet		20 feet		<u>WCC 10.46.080(2) and WCC 10.46.080(2)(b)</u> <u>*Standard applies to private garages and carports where the entry faces the street. For mixed use buildings with enclosed parking for multiple users, the garage may be in line with the main building.</u>
Rear - minimum	0-20 feet^(X) except 5 feet minimum 20 feet where adjacent to a lower intensity residential zone.	0 feet	0 feet^(X) & & &	0 feet	<u>WCC 10.46.080(3)</u> ^(X) <u>WCC 10.46.080(3)(f)</u> <u>*Lots with a rear or side yard adjacent to a residential district shall apply the rear or side yard setback of that underlying residential district.</u> <u>**If the height of the proposed structure permitted in the NWBD/SWBD exceeds the maximum height of the adjoining residential district, the setback shall be increased by one-half foot for each foot the proposed structure exceeds the maximum height of the residential district.</u>
Side - minimum	5 feet	0 feet ^(X) &	0 feet ^(X) & &	0 feet ^(X)	<u>WCC 10.46.080(4)</u> ^(X) <u>WCC 10.46.080(4)(e)-(f)</u> <u>*Lots with a rear or side yard adjacent to a residential district shall apply the rear or side yard setback of that underlying residential district.</u> <u>**If the height of the proposed structure permitted in the NWBD/SWBD exceeds the maximum height of the adjoining residential district, the setback shall be increased by one-half foot for each foot the proposed structure exceeds the</u>

Standard	CN	CBD	NWBD and SWBD	I	Conditions/ Exceptions/ Reference
					maximum height of the residential district.
Building Standards					
Maximum Building Height	35 feet but no more than 3 stories above grade	85-90 feet*	6 stories above grade and 90 feet*	6 stories above grade and 90 feet	<u>WCC 10.46.090</u> *Except where the project property directly abuts a less intense residential zone, the maximum height is no more than the less intense zone for at least 15 feet from that zone.
Maximum Lot Coverage	50% ^(x) *	100%	100%	70%	<u>WCC 10.46.100</u> ^(x) <u>WCC 10.46.100(2)</u> *75 percent allowed for projects that employ structured parking for 80 percent of their required parking

10.46.050 Overlay development chart.

(1) General dimensional standards. If additional development standards apply, they are listed in Chapter 10.40 WCC.

Standard	MRC	WMU-RRO	WMU-PO	Conditions/ Exceptions/ Reference
Minimum Lot Dimensions				
Lot Area	Same as underlying zoning district	Same as underlying zoning district	Same as underlying zoning district	<u>WCC 10.46.060</u>
Lot Width	None	None	None	<u>WCC 10.46.070</u>
Lot Depth	None	None	None	<u>WCC 10.46.070</u>
Setbacks (WCC 10.46.080)				
<u>Street Front</u>	15 feet	Same as underlying zoning district	Same as underlying zoning district	<u>WCC 10.46.080(2)</u> *Minimum distance from the centerline of the road equal to one-half of the required public right of way based on the public road classification, and for private roads, one-half of the required easement
Rear	10 feet	Same as underlying zoning district	Same as underlying zoning district	<u>WCC 10.46.080(3)</u>
Side	5 feet	Same as underlying zoning district	Same as underlying zoning district	<u>WCC 10.46.080(4)</u>
Building Standards				

Standard	MRC	WMU-RRO	WMU-PO	Conditions/ Exceptions/ Reference
Maximum Building Height	Same as underlying zoning district ^{(x)*}	4 stories above grade and 60 feet	6 stories above grade and 90 feet ^{(y)**}	<u>WCC 10.46.090</u> (x) <u>WCC 10.46.090(2)(c)</u> *One story, a maximum of 14 feet high, may be added to the underlying maximum building height if one whole story is used for structured parking (y) **60 feet between First and Kittitas Streets
Maximum Lot Coverage	55%	Same as underlying zoning district	Same as underlying zoning district	<u>WCC 10.46.100</u>

- (2) Grandview Historic District Overlay. Standards applicable to the setbacks of primary structures in the Grandview historic district overlay as detailed in the Grandview Historic District Preservation Handbook, adopted by reference pursuant to WCC 10.40.060, supersede those development standards of the underlying zoning district. Accessory structures shall comply with the underlying zoning district standards. (Ord. 2016-22 § 1 (Exh. B); Ord. 2013-09 § 3; Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.46.060 Minimum lot area calculations. *(new section)*

Minimum lot area calculations are based on the total land area contained within the boundary lines of any lot, tract or parcel of land, exclusive of public rights-of-way and private lanes, and may be expressed in square feet (sf) or acres.

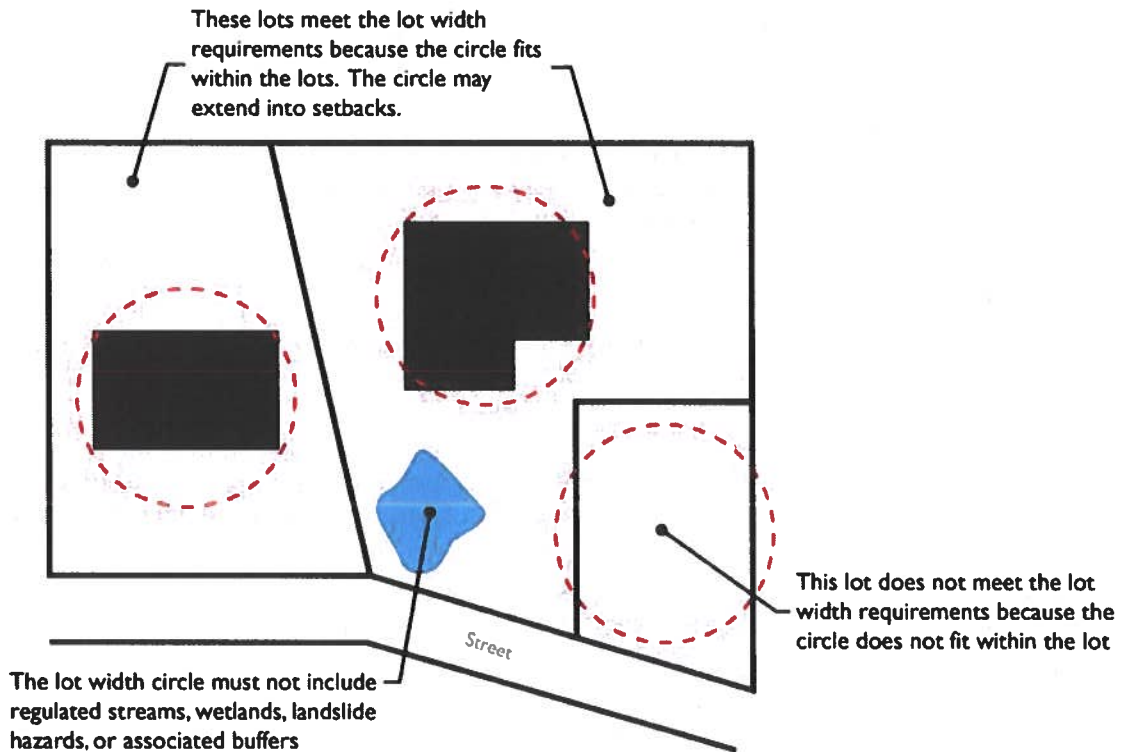
10.46.070 Minimum lot width and depth calculations. *(new section)*

- (1) For generally rectangular-shaped lots:
- (a) Minimum lot width is measured at the building line or at the street lot line.
 - (b) Minimum lot depth is measured between the midpoints of straight lines connecting the two front property corners and the two rear property corners.
- (2) For non-rectangular-shaped lots, the minimum lot-width circle applies to help ensure that there is a minimum buildable area included in each lot created consistent with the intent for each zoning district.
- (a) The minimum lot width circle establishes that at least some portion of a lot must be at least as wide as the minimum lot width. The lot width circle must not include streams and buffers.
 - (b) The following lots are exempt from minimum lot width circle standards: Duplexes, triplexes, cottage and townhouse developments, where individual units are subdivided into separate lots via unit lot subdivision.

10.46.075 Lot line Angles. *(new section)*

Side lot lines shall be straight lines running within 20 degrees of perpendicular to the road upon which the lots front. Side lot lines on curved roads should run at or near radially to the curve.

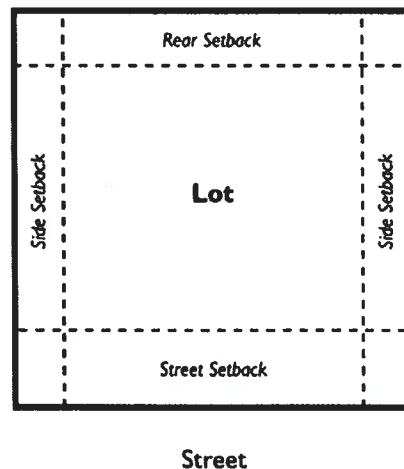
Figure 10.46.070
Minimum lot width circle.



10.46.080 Setback measurements and exceptions. (new section)

The development charts in this chapter provide minimum standards for street, side, rear, and interior setbacks. Figure 10.46.080 shows the location of some setback types on a typical lot. Clarification on how these setbacks are measured are provided in subsections (1) through (9) below.

Figure 10.46.080
Setback types.

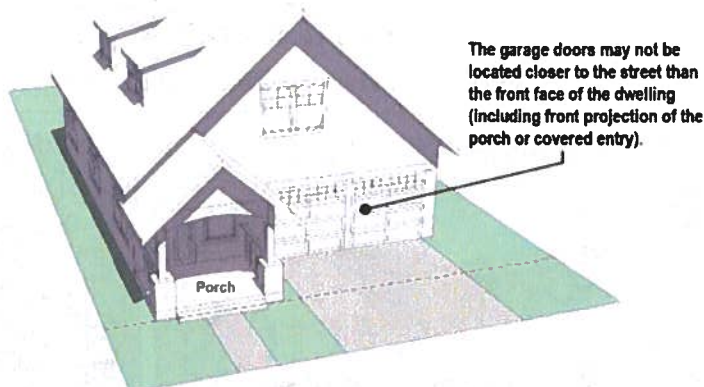


- (1) Measurement. All setbacks must be measured at right angles, or as near to right angles as possible, to the nearest property line (unless where otherwise noted) in a plane horizontal to the ground. Setback directions and exceptions must be determined as provided in subsections (2) through (5) below.
- (2) Street setbacks. The street setback is measured from the street right-of-way unless otherwise noted.
 - (a) Street setback clarifications/exceptions in all applicable zones:
 - (i) Street setbacks may be expanded in accordance with WCC 10.48.180 (Fences and clear view triangle).
 - (ii) Roofed porches and covered entries may project a maximum of eight feet into the required street setback, provided such projections remain unenclosed, except for partial walls or guard rails that measure less than 42 inches from the floor of the porch.
 - (iii) Eaves, cornices, awnings or other architectural projections may project a maximum of four feet into required street setback.
 - (iv) Street setbacks for individual garages and carports apply to the front doors of individual private garages or the front projection of a carport and do not apply to underground or above-ground parking structures shared by tenants of multifamily developments.

Garage doors or the front projection of a carport shall not be placed in front of the front face of the dwelling. Lots containing slopes of at least ten-percent are exempt from this standard. For the purposes of this standard, "dwelling" includes the front projection of a covered entry or porch; and
 - (v) Bus amenities may be located within the street setback in accordance with WCC 10.48.120 and as agreed by the developer, transit authority, and the city.
 - (vi) Additional setbacks may be required for lots adjacent to rights-of-way with planned improvements. Minimum distance from the centerline of the right-of-way equal to one-half of the required public right-of-way based on the public road classification, and for private roads, one-half of the required easement.
 - (b) Street – garage and carport setback standards in all zones: Street setbacks for individual garages and carports apply to the front doors of individual private garages or the front projection of a carport and do not apply to underground or above-ground parking structures shared by tenants of multifamily developments. Garage doors or the front projection of a carport shall not be placed in front of the front face of the dwelling. Lots containing slopes of at least ten-percent are exempt from this standard. For the purposes of this standard, "dwelling" includes
 - (i) The front projection of a covered entry or porch.
 - (ii) Livable floor area within the dwelling as determined by the director. For example, attic spaces, closet area or low ceiling height spaces located directly above a garage do not qualify as livable floor area.

Figure 10.46.080(2)(b)

Street setback standards for individual/private garages (all applicable housing types).



The examples above comply as the garage doors are not placed in front of the dwelling (including the covered porch projection).



The examples above do not comply. The spaces above the garage don't qualify as "dwelling" space for the purposes of this standard (left example has no window and the right example would have a deficient ceiling height, if it were a part of the second floor of the unit).

(c) Street setback clarifications/exceptions in residential zones:

- (i) A lot in a residential district joined on one or both sides by lots on which structures are set back less than the district minimum may observe a required street setback equal to the average of the adjacent structures or the average of the district minimum and an adjoining structure.
- (ii) In all residential districts except the RH zone, setbacks on corner lots may be reduced to a minimum of 10 feet from the street right-of-way on the one side without a front entrance. In this case, subsections (2)(a)(ii)-(iii) and (2)(c)(iii) of this section are not applicable.

- (iii) When the garage in the RF, RS or RL district is oriented to the side or located at or behind the required street setback, the front of the residence may extend five feet into the front setback.
- (iv) Upper floor decks constructed over driveways may project a maximum of eight feet into the required street setback in the RF, RS, and RL zones and up to three feet in the RM zone, provided such projections remain unenclosed, except for required guard rails.

Figure 10.46.080(2)(a)
Permitted street setback projections.



Roof porches/covered entries (left image) may project a maximum of 8-feet into the required street setback. Upper level decks placed over driveways (right image) may project up to 8-feet into the required street setback in the RF, RS, and RL zones and up to 3-feet in the RM zone.

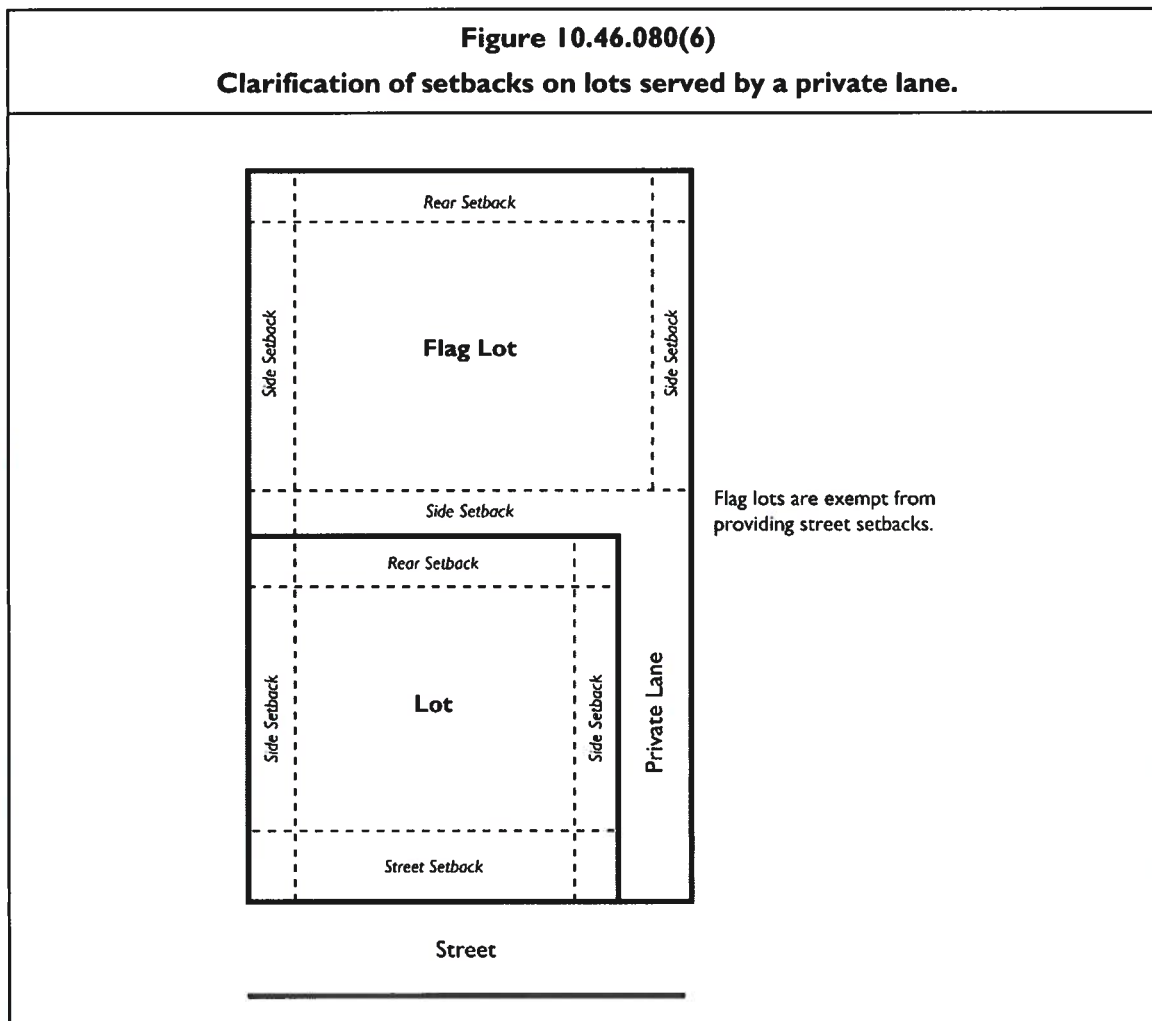
(d) Street setback clarifications in mixed-use and non-residential zones:

- (i) Minimum street setbacks shall accommodate minimum sidewalks widths per district, street, or block when specified. In the CBD zone, second floor spaces may extend over sidewalk to the right-of-way line.
- (ii) 10 feet minimum street setbacks are required for ground floor residential uses. Exceptions:
 - (A) Live-work residences provided they meet the provisions of subsection (2)(c)(iv) below.
 - (B) The street setback may be reduced to a minimum of 5 feet in the CBD, NWBD, SWBD, and WMU zones where the development conforms to Residential Development Guideline C.1.1 (Ground-related units facing streets, common pathways or common open spaces).
- (iii) Designated pedestrian oriented streets per Figure C.1.d in the Residential Development Guidelines are subject to setback and façade standards in Residential Development Guideline C.1 and E.4.
- (iv) In the Industrial zone, the minimum street setback is zero feet.
- (v) Wider setbacks are allowed in the CN, NWBD, and SWBD zones where the space between the street and the building provides a publicly accessible amenity such as outdoor seating or dining or allows for pedestrian movement in congested areas.

(3) Rear setbacks.

- (a) Roofed porches may project a maximum of four feet into the required rear setback, provided the porch structure remains unenclosed, except for partial walls or guard rails that measure less than 42 inches from the floor of the porch.
- (b) Decks and steps that are no taller than 48 inches above grade may project into the required rear setback.
- (c) Eaves, cornices, awnings or other architectural projections may project a maximum of four feet into required rear setback.

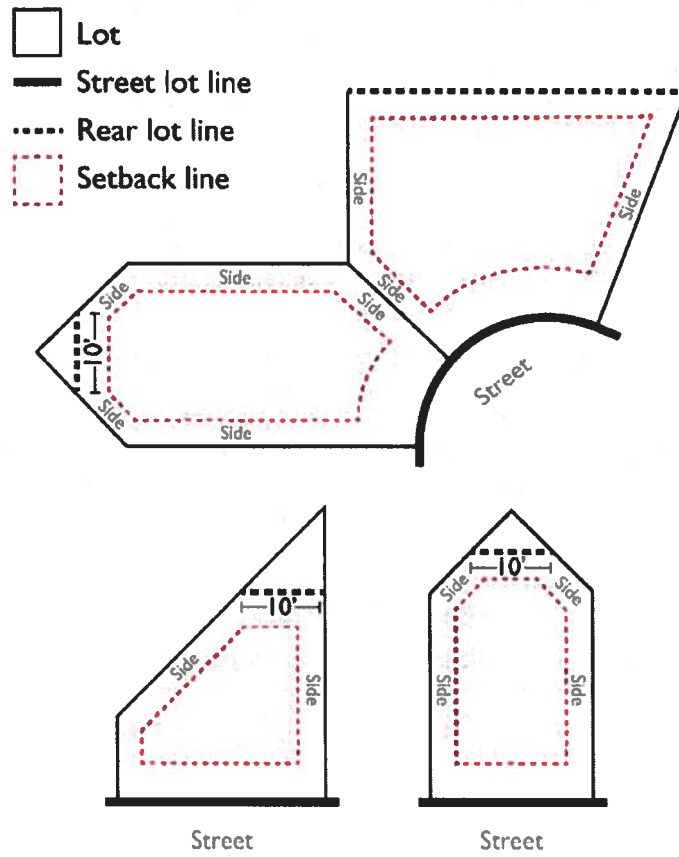
- (d) Accessory structures may observe a five-foot setback in the rear setback provided:
 - (i) The structure is not greater than 20 feet in height.
 - (ii) No projections (eaves, etc.) are within three feet of a property line.
 - (iii) No combination of structures extends more than 50 percent of the horizontal distance of the rear property line.
 - (e) Residential accessory structures may observe a zero setback where the rear property line is adjacent to an alley (except a minimum setback of five feet is required where a garage door faces the alley), provided the structure covers less than 50 percent of the rear property line and is no greater than 20 feet in height.
 - (f) In the OMU, RMU, CN, NWBD and SWBD zones where the rear setback abuts a residential zone, the minimum rear setback shall be the same as the minimum rear setback of the abutting zone.
- (4) Side setbacks.
- (a) Eaves, cornices, awnings or other architectural projections may project two feet into required side setback.
 - (b) Accessory structures may observe a three-foot setback in the side setback; provided, that no projections (eaves, etc.) are allowed within three feet of a property line and that no combination of structures extends more than 50 percent of the horizontal distance of the side property line.
 - (c) Residential accessory structures may observe a zero setback where the side property line is adjacent to an alley, provided the structure covers less than 50 percent of the side property line and is no greater than 20 feet in height.
 - (d) In the OMU zone, when abutting the RS, RL, or RM zone, the minimum setback must increase by one-foot for every two feet of additional building height over 20 feet.
 - (e) In the CBD, NWBD, SWBD, and I zones where the side setback abuts a residential zone, the minimum side setback shall be the same as the minimum side setback of the abutting zone.
 - (f) In the CBD, NWBD, SWBD, and I zones where the side setback abuts a residential zone, the minimum setback shall be increased by one foot for each one foot the proposed structure exceeds the maximum height of the abutting residential zone.
- (5) Interior setbacks refer to the minimum distance between detached dwelling units (where allowed).
- (6) Setbacks for lots served by a private lane. Lots that do not abut a public street (sometimes referred to as "flag lots") are exempt from street setback requirements. Such lots must have a rear lot line designated, typically opposite from the private lane (the pole of the flag), and all other lot lines are considered side lot lines [see Figure 10.46.080(6)].



- (7) Setbacks for single family courtyard. See WCC 19.47.060(2)(c) for applicable standards.
- (8) Through lots. For lots featuring frontage on more than one public or private street, the street setback is measured from the street right-of-way that is the property's street address and primary access. The opposite lot frontage is considered the rear setback.
- (9) Setback measurements for irregular lots. Setback distances established for residential zones are based on rectangular lots. Nonrectangular lots, lots with three sides or more than four sides, curved property lines, and other nonstandard lots require special measurement techniques in order to achieve the purpose of setback requirements:
 - (a) Rear setbacks. In the case of an irregularly shaped lot, a ten-foot line which is within the lot and parallel to and most distant from the street lot line must be considered the rear lot line for purposes of determining required setbacks and for interpretation of other provisions of this code [see Figure 10.46.080(9)].
 - (b) Side setbacks. All lot lines which are not street or rear lot lines must be considered interior side lot lines for the purpose of measuring setbacks.
 - (c) Determination by the city. Where a building site is situated in such that it is unclear which should be considered the street, rear, and sides, required setbacks must be as determined by the city in compliance with the following criterion: required setbacks must not permit the placement of buildings on the site in a manner that will constitute a grant of special privileges inconsistent with the limitations placed on other properties in the vicinity and incompatible with surrounding uses.

Figure 10.46.080(9)

Examples of determining setback lines on irregular lots.



10.46.090 Building height calculations, exceptions, and modifications. (new section)

(1) Building height calculations:

- (a) Building height, except where otherwise noted, is measured to the highest point of a flat roof or the mean height between the eaves and ridge of a pitched roof from the average elevation of the proposed finished grade adjacent, within two feet, to the building foundation.

(b) **ALTERNATIVE OPTIONS FOR (b) ASSOCIATED WITH MEASURING HEIGHT ON SLOPING PROPERTIES.**

- (b-alt 1) On sites that sloped upward from the street, the street building elevations must not exceed the maximum height of the zone, except for parapets as set forth in subsection (5)(b)(ii). Upper-level building setbacks at least ten feet deep may be utilized on sloped sites to achieve the maximum possible building height (as shown in Figure 10.46.090) based on the calculations set forth in subsection (1) above.
- (b-alt 2) If the existing grade of the proposed building footprint exceeds 15-percent slope, then the building must be configured to go down in height as between the higher and lower facades in a manner similar to Figure 10.46.090 or in an equivalent manner such that the average of the building heights calculated between the facades is approximately equal to or less than the maximum permitted building height. Building elevations on the downhill side of the building must not exceed the maximum height of the zone, except for parapets as set forth in subsection (5)(b)(ii).

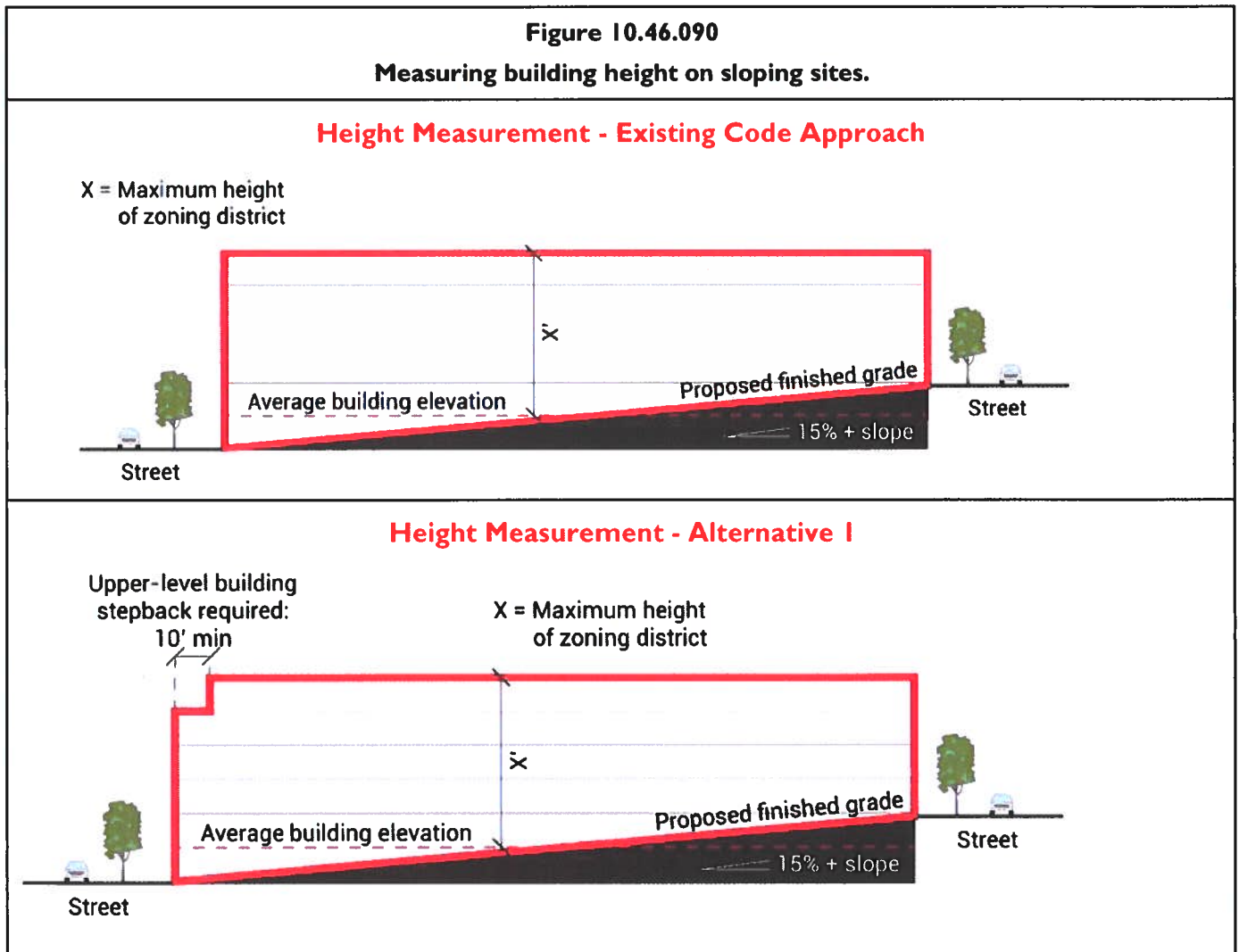
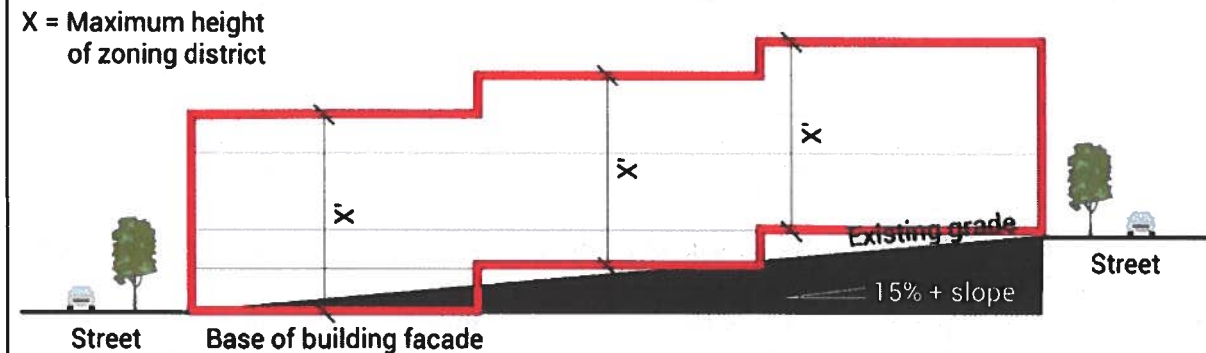


Figure 10.46.090

Measuring building height on sloping sites.

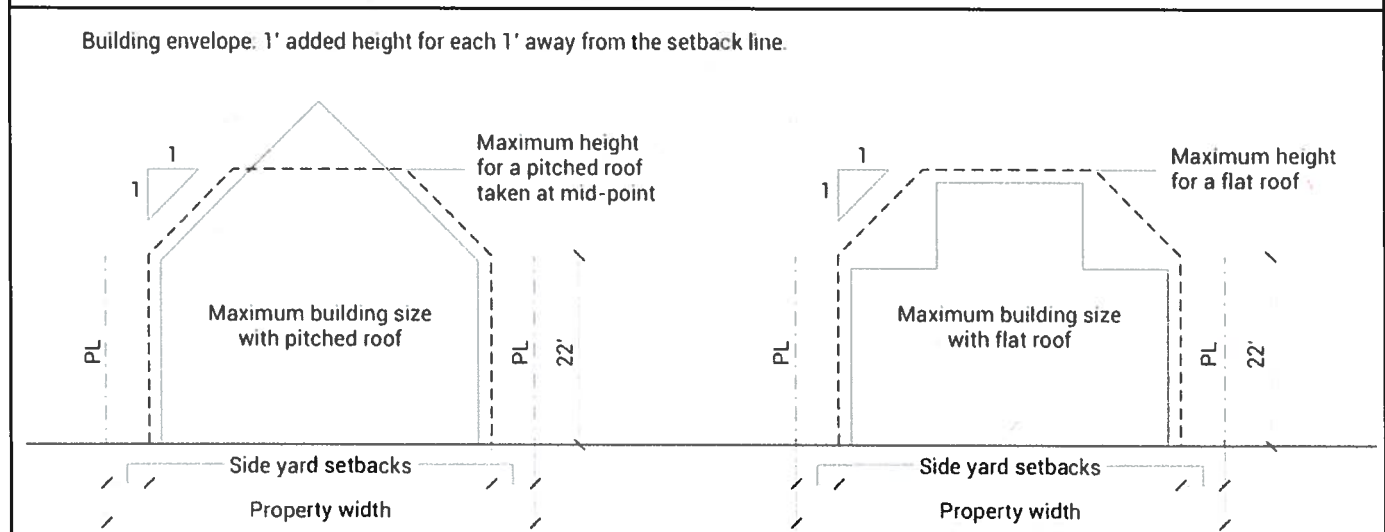
Height Measurement - Alternative 2



- (c) No building shall have a non-averaged height measured from the finished grade to the highest point of the building as to exceed the underlying maximum height by an extent equal to or greater than 15 percent.
- (2) Special zone or area-specific height standards/exceptions:
- (a) For the RS, RL and RF zones, flat-roofed structures (featuring a roof slope of less than 10-degrees) are subject to the following maximum height/stepback plane: From a height of 22-feet at the minimum side setback, the maximum building height envelope shall step back at a 45-degree angle (one foot setback for every one foot of additional height) away from the side property line as shown in Figure 10.46.090(2) below.

Figure 10.46.090(2)

Height/stepback plane for flat-roofed buildings along the minimum side setback in the RS, RL, and RF zones.



- (3) Exceptions – exceeding height limits. The following structures may be erected above the height limits established in the dimensional standards in WCC 10.46.030-060:
- (a) Except as may otherwise be prohibited by the FAA Regulations, the height limitations do not apply to church spires, belfries, cupolas and domes not intended for residential purposes, or to monuments, water towers, observation towers, power transmission towers, silos, grain elevators, chimneys, smokestacks, derricks, conveyors, flag poles, radio, masts, aerials and similar structures.

- (b) Exceptions for multifamily and non-residential development:
 - (i) Roof structures housing or screening elevators, stairways, tanks, rooftop wind generators, ventilating fans or similar equipment required for building operation and maintenance may exceed the height limit by up to ten feet, provided the area with the added height is limited to what is necessary to screen or enclose the use. Such structures constructed for non-residential or multifamily uses are subject to screening standards in Chapter 10.62 WCC.
 - (ii) Fire or parapet walls may exceed the height limit by up to five feet.

10.46.100 Lot coverage calculations. *(new section)*

Lot coverage refers to the area of a lot which is covered covered/occupied by a roofed building or buildings, usually expressed in square feet (sf) or percentage (%) of land on the lot.

(1) Lot coverage calculation details and clarification:

- (a) The area measured horizontally at the outside of external walls or supporting members of all primary and accessory structures.
- (b) The roof overhang must not be included in the lot coverage unless it exceeds two feet, in which case the portion of the roof overhang extending beyond two feet must count as part of the lot coverage.
- (c) Open beams and lattice work without a roof are not considered part of the lot coverage.
- (d) Minor appurtenances such as bay windows, chimneys and trim not extending more than two feet from the primary wall, and not extending the enclosed floor area do not count in lot coverage.
- (e) Covered porches or decks that are not enclosed, are less than 120 SF in footprint and are less than 42 inches above grade do not count as lot coverage.
- (f) For lots which share an access easement (e.g.: for a shared drive) the easement may be counted as lot area for the purpose of lot coverage calculation for the lot on which the easement is placed.

(2) Zone-specific exceptions:

- (a) In the RH, OMU, RMU, and CN zones, the maximum lot coverage may be increased to 75-percent allowed for projects that employ structured parking for 80-percent of their required parking.

10.46.110 Density calculations. *(new section)*

(1) Calculations for determining maximum density, where expressed in dwelling units per acre.

- (a) The entire site area may be used in the calculation of the maximum allowed residential density (including any new street right-of-way internal to the site).
 - (b) For the purpose of meeting maximum density requirements for subdivisions in applicable zones, final plats must specify the maximum number of dwelling units per lot.
 - (c) Duplexes on lots created prior to (ADD ADOPTION DATE OF THIS ORDINANCE) are exempt from maximum density standard, provided they meet the applicable minimum lot area for a duplex.
- (2) How to calculate density. Maximum density for an individual site must be calculated by multiplying the site area (in acres) by the maximum dwelling units/acre in the applicable zone. When calculation results in a fraction, the fraction must be rounded to the nearest whole number as follows:
- (a) Fractions of 0.50 and above are rounded up.
 - (b) Fractions below 0.50 are rounded down.

WENATCHEE RESIDENTIAL USE STANDARDS: NEW CHAPTER 10.47

Draft August 16, 2019

NOTE: The provisions herein include material that has been moved from Chapter 10.48 (changes of which are [tracked](#)) and new material (see sections below with "NEW" in parentheses after title).

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Chapter 10.47 RESIDENTIAL USE STANDARDS (NEW)

10.47.010 Purpose.

The purpose of the residential use standards is to provide a concise reference to requirements applicable to residential uses and specific housing types.

10.47.020 Residential structures. *(Moved from 10.48.050)*

All residential structures where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code. All residential dwellings shall meet the following provisions:

- (1) All dwellings shall be placed on a permanent foundation with the space between the bottom of the home and the ground enclosed by concrete or an approved concrete product which can be either load-bearing or decorative.
- (2) A dwelling shall be not less than 14 feet in width at the narrowest point of its first story.
- (3) All designated manufactured homes located within the city on an individual lot of record, not within a manufactured home park, shall be new, not previously titled to a retail purchaser, no more than three years old on the date of installation, and composed of at least two fully enclosed parallel sections.

10.47.030 Accessory dwelling units (ADU) *(Moved from 10.48.040 with changes tracked)*

All accessory dwelling units where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

- (1) Purpose: The purpose of this section is:
 - (a) To regulate the establishment of accessory dwelling units within or in conjunction with single-family dwellings while preserving the character of single-family neighborhoods.
 - (b) To make it possible for adult children to provide care and support to a parent or other relatives in need of assistance;
 - (c) To provide increased security and companionship for homeowners;
 - (d) To provide the opportunity for homeowners to gain the extra income necessary to help meet the rising costs of home ownership; or to provide for the care of disabled persons within their own homes.
- (2) Standards for all aAccessory dwelling units, including those attached to the main residence and those that are in a separate building but on the same property.
 - (a) Form: An ADU may be created within, or detached from, any existing or new single-family dwelling as a subordinate use. Dwelling units that are physically separated from the primary structure, that is in a separate building, are "detacheddetached accessory dwelling units" (DADUs):
 - (b) Number: No more than one ADU may be created per legal lot of record.

~~The minimum lot size eligible for an ADU shall be the underlying zoning district minimum lot size plus 1,500 square feet.~~

- (c) Occupancy: Only the property owner, which shall include title holders and contract purchasers, may apply for an ADU. For properties in the RS and RL zones, the property owner must occupy either the primary dwelling or the ADU as their principal residence for at least six months of the year.
- (d) Minimum parking: A minimum of three parking spaces must be provided for the principal and accessory dwelling units. Where on-street parking is available abutting the lot, only two off-street spaces must be provided for the principal and accessory dwelling units. One off-street parking space shall be provided in addition to off-street parking that is required for the primary dwelling, and located behind the front yard setback.

~~The ADU shall be designed to maintain the appearance of the primary dwelling as a single-family dwelling. Roof pitches, siding and windows of any new construction to house the ADU shall be similar and complementary to the primary dwelling.~~

- (e) Maximum size: In no case shall an ADU be larger than ~~40-50~~ percent of the habitable floor area of

the principal dwelling, nor more than 800 square feet of gross floor area.

- (f) Living facilities: The ADU shall include, at a minimum, kitchen, bathroom and sleeping facilities.
- (g) Entrance location: If a separate outside entrance is necessary for an ADU located within the primary dwelling, that entrance must be located either on the rear or side of the building.
- (h) Home occupations: A home occupation may be permitted in either the primary dwelling or the ADU but not in both if otherwise allowed in the WCC.

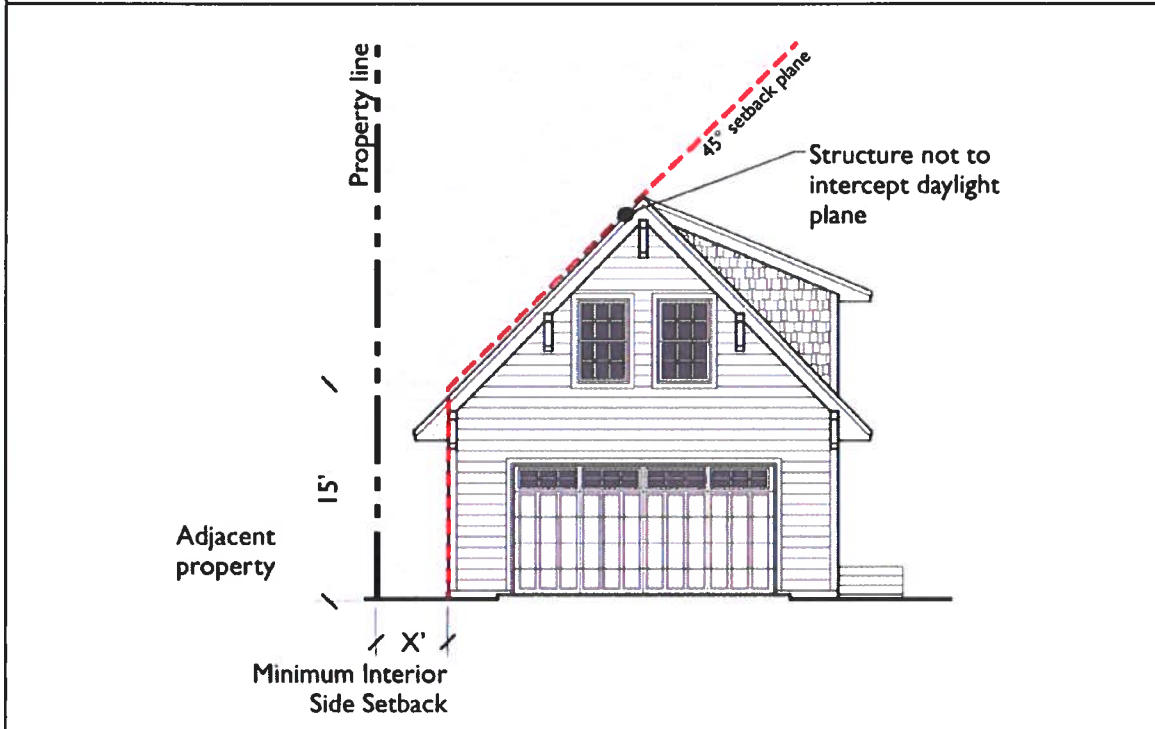
~~Subdivision: An ADU shall not be subdivided or otherwise segregated in ownership from the primary dwelling unit.~~

- (i) Utilities: Utilities for an ADU shall be metered jointly with the primary dwelling except as otherwise required by ordinance.
- (j) Addressing: An address shall be assigned by the City at the time of building permit issuance. ~~for an ADU shall be the same as the primary dwelling unit with a "B" added to the end of the address number.~~
- (k) ~~Covenants: The property owner shall file a restrictive covenant with Chelan County's auditor's office for the subject property prior to final building inspection approval for the ADU. The recorded information shall:~~
 - ~~(i) Identify the address of the property;~~
 - ~~(ii) State that the owner(s) resides in either the principal or accessory dwelling unit;~~
 - ~~(iii) State that the owner(s) will notify any prospective purchasers of the limitations of the ADU;~~
 - ~~(iv) State that the ADU shall not be subdivided or otherwise segregated in ownership from the primary dwelling unit; and~~
 - ~~(v) Provide for the removal of the ADU if any of the requirements of this title are violated. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))~~

(3) Standards for all detached accessory dwelling units (DADU): *(NEW)*

- (a) Setbacks: DADUs shall meet rear and side yard accessory structure setback requirements and shall be set back equal to or further than the primary dwelling from the front property line.
- (b) Usable open space: All lots containing ADU's and DADU's are subject to minimum usable open space standards for single family uses as set forth in WCC 10.47.040(e).
- (c) Maximum height:
 - (i) DADUs with a roof pitch of 6:12 or greater: 25 feet.
 - (ii) DADUs with a roof pitch of less than 6:12: 20 feet.
 - (iii) Special side setback standards for DADUs: From a height of 15 feet at the minimum side setback, DADU's must step back at a 45-degree angle away from the side property line as shown in Figure 10.47.020(3) below.

Figure 10.47.020(3)
Height/setback plane for DADU's
along side setbacks.



10.47.040 Single family dwellings (NEW).

All single-family dwellings where allowed by Chapter [10.10](#) WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

(1) Purpose.

- (a) To enhance the character of the street and neighborhood.
- (b) To maintain “eyes on the street” for safety to pedestrians and to create a more welcoming and interesting streetscape.
- (c) To de-emphasize garages and driveways as major visual elements along the street.
- (d) To provide usable open space for residents.

(2) Standards.

(a) Entry standards.

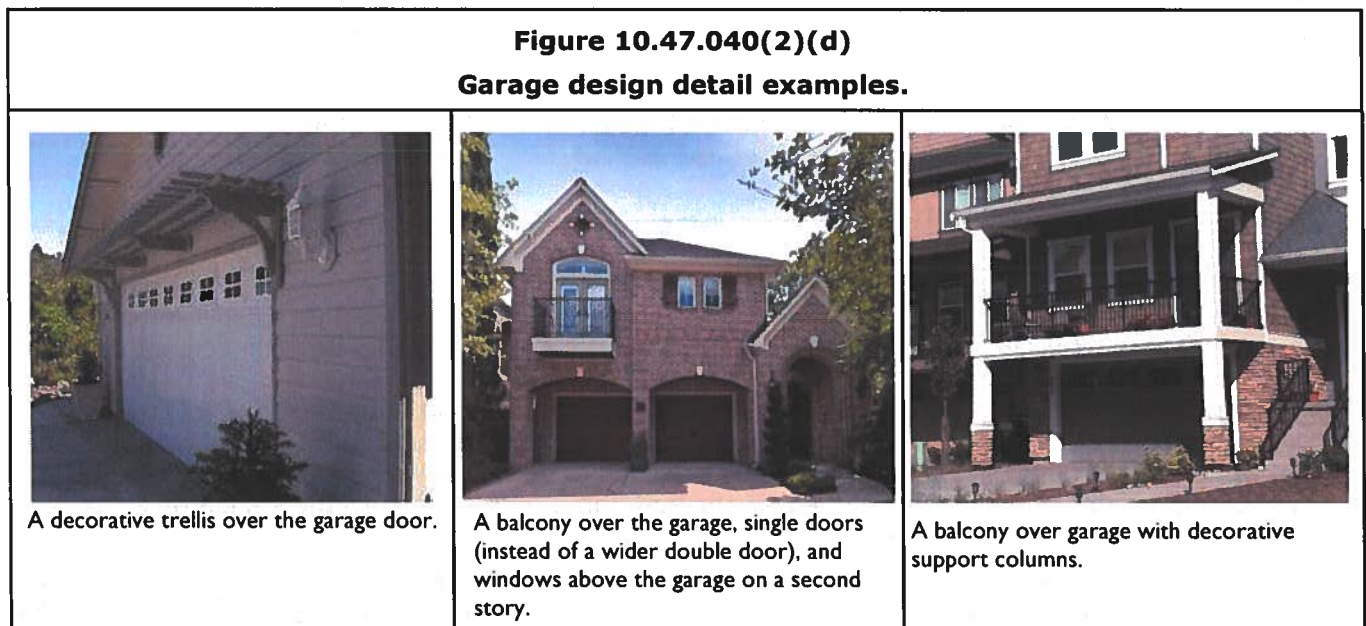
- (i) Clear and obvious pedestrian access between the sidewalk (or the street if there is no sidewalk) and the building entry is required for new dwellings. The driveway may be used for pedestrian access.
- (ii) All new dwellings must provide a covered pedestrian entry with minimum weather protection of four feet by four feet (a covered porch or recessed entry).
- (iii) See the street setback exception for roofed porches and covered entries in WCC [10.46.080\(2\)\(a\)\(ii\)](#).

(b) Driveway standards.

- (i) Minimum and maximum driveway widths for single family houses facing a public street as measured at the property/right-of-way line are set forth in Table [10.47.040\(2\)\(b\)](#) below. Paved areas for vehicle storage or other uses may be wider if they are no less than five feet from the property/right-of-way line.

Table 10.47.040(2)(b) Driveway width measured at the property/right-of-way line.		
Use Type	Minimum Width	Maximum Width
Residential		
Lot width = 50 feet or greater	10 feet	18 feet
Lot width < 50 feet	10 feet	12 feet or 18 feet if shared with adjacent lot

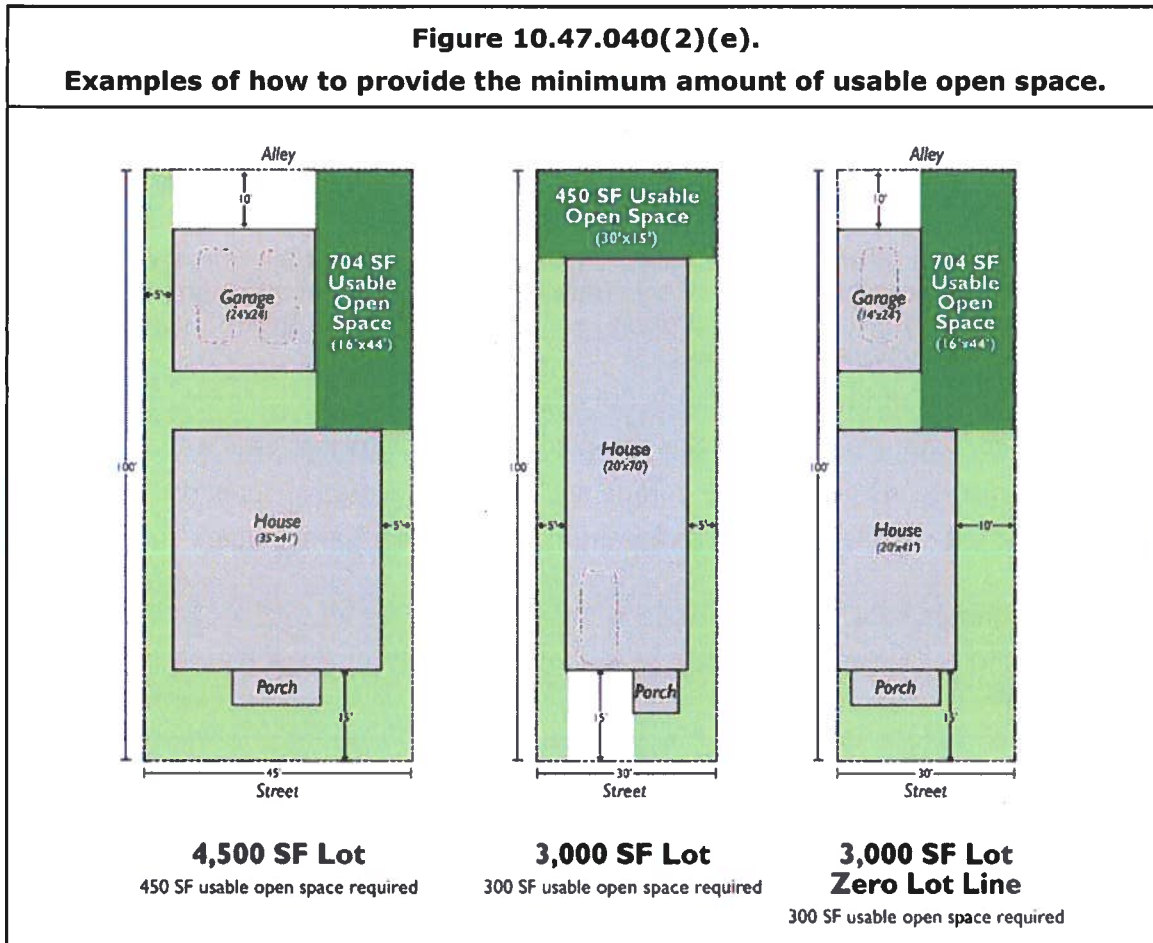
- (c) Garage and carport setbacks. Garages and carports are subject to the setback standards in Chapter 10.46 WCC.
- (d) Garage standards. Garages (attached or detached) may occupy no more than 50-percent of the width of the ground-level façade facing the street. Garage doors may exceed this limit up to a maximum of 65-percent of the width of the ground level façade facing the street provided at least two of the following design details are utilized:
- (i) A decorative trellis over at least the entire width of the garage door(s).
 - (ii) A window or windows are placed above the garage on a second story or attic wall.
 - (iii) A balcony that extends out over the garage and includes decorative support columns.
 - (iv) Utilizing all single vehicle car doors as an alternative to wider garage doors suitable for two car garages.
 - (v) Windows on the garage door.
 - (vi) Decorative details on the garage door. Standard squares on a garage door will not qualify as a decorative detail.



- (e) Standards for minimum useable open space.
- (i) All new single-family dwelling units must provide a contiguous open space to the side or rear of the dwelling with a minimum dimension of 15 feet on all sides. This space may not be used for vehicle or other large object storage but be available for human activity. The open space may be in the street setback if facing a private lane.
 - (ii) The open space(s) must be equivalent to 10-percent (minimum) of the lot area. For example, a

4,000 square foot lot would require a contiguous open space of at least 400 square feet, or 20 feet by 20 feet in area. Figure 10.47.040(e) illustrates some configurations that comply for residences with alley access,

- (iii) Drive aisles must not count in the calculations for usable open space.
- (iv) Additions must not create or increase any non-conformity with this standard.



10.47.050 Single family – cluster. (NEW).

Single family cluster developments allow the flexibility to reduce lot sizes within a subdivision provided that open space is integrated into the design to compensate for the clustered lot arrangement. Two design options apply to single family cluster developments:

- (1) Single family cluster developments are subject to the specialized lot dimension and lot coverage standards in WCC 10.46.020 that allow for lot sizes close to 50 percent of the size of standard lots. However, single family cluster developments are subject to the standard maximum building height limits and maximum density prescribed for the applicable zone along with the standards for single family dwellings in WCC 10.47.040.
 - (a) All such lot reductions shall be compensated for by an equivalent amount of land area in open space to be preserved and maintained for its scenic value, for recreation, or conservation purposes. The open space shall be clearly labeled and numbered as a tract with the following language inserted on any and all plats filed for record:

This tract is held in reserve as a permanent open space and shall not be considered as a building lot, or encroached upon in any manner.
 - (b) The open space created and set aside shall remain for preservation, recreation and conservation purposes, and shall be accessible without trespassing on private property, to all residents of the subdivision or, where the land has been deeded to the city of Wenatchee, to the public.

- (2) As an alternative to the cluster provisions in subsection (1) above, lots may be exempted from minimum lot area, depth, width, and rear setback standards, provided they are arranged in clusters of four to 12 dwelling units around a centralized common open spaces and meet following standards:
- (a) Development parameters based on compliance with the provisions herein shall be placed on the final plat or final unit lot subdivision.
 - (b) Cluster single family developments must meet zoning district density standards.
 - (c) Setbacks.
 - (i) Dwellings built along streets and side property lines along the perimeter of the development are subject to the applicable street and side setbacks in WCC Chapter 10.46.020.
 - (ii) Dwellings built along rear property lines shall maintain ten-foot minimum setbacks.
 - (iii) The minimum internal setback between dwellings is ten-feet.
 - (d) At least 50-percent of the dwellings shall abut a common open space meeting the standards in subsection (3) below. Direct access to the common open space shall be provided for each dwelling by a paved walkway. See also Residential Design Guideline D.3 (Residential open Space Elements).
 - (e) Site design and orientation. Dwellings within a cluster development shall be oriented to promote a sense of community, both within the development, and with respect to the larger community, outside of the development. A cluster subdivision shall not be designed to "turn its back" on the surrounding neighborhood by locating rear yards to face a public street.
 - (i) Clear and obvious pedestrian access between the sidewalk (or the street if there is no sidewalk) and the dwelling entry is required.
 - (ii) All new dwellings adjacent to a street must meet the Residential Design Guidelines, especially C.1 (Ground related units facing streets, common pathways, or common open space), C.2.1 (Pedestrian connectivity within multi-unit residential development with more than one building) and E.5.1. (Building entrances: configuration and details).
 - (iii) Common open space shall be provided in a centrally located focal area for the development and abut at least 50-percent of the dwellings in the cluster subdivision [see subsection (g) below]. Direct access to the common open space shall be provided for each dwelling by a paved walkway. See also Residential Design Guideline D.3 (Residential open space elements).
 - (iv) One existing single-family dwelling may be incorporated into a cluster development. Nonconforming residences with respect to architectural standards shall be permitted.
 - (v) A cluster development may contain one community building that is clearly incidental in use and similar in size and architectural design of the dwellings. Such community building shall be commonly owned by the residents.
 - (vi) Cul-de-sacs are not permitted within a cottage development, unless it can be demonstrated that no other configuration is feasible.
 - (f) Building design and orientation. See Section E in the Residential Design Guidelines.
 - (g) Common open space standards.
 - (i) A common open space is required for each cluster of four to 12 dwellings.
 - (ii) A minimum of 300 square feet of common open space shall be provided per dwelling unit.
 - (iii) Each common open space shall be a minimum of 1,500 square feet in size with no dimension less than 25 feet, regardless of the number of dwelling units.
 - (iv) Common open space shall meet the requirements of the Residential Design Guidelines, especially, C.3.2.b. and be improved for passive or active recreational use. Examples may include, but are not limited to, courtyards, non-commercial orchards, landscaped picnic areas or gardens, wildlife viewing areas, etc.
 - (v) Fences are not allowed within any common open space area.
 - (vi) Common open space shall be located in a separate tract or tracts and owned in common by all property owners.

- (h) Private open space. Each dwelling shall include a minimum of 400 square feet of private open space (in addition to common open space). The private open space shall have no dimension less than 10 feet, be located adjacent to the unit which it serves and feature direct access to the private open space via door. Examples include a semi-private garden space between a dwelling and the common open space.
- (i) Surface water management facilities may be included in the required private and common open space areas provided they are designed to provide functional recreational uses for the residents.
- (j) Driveway, access, parking, and garages.
 - (i) Dwellings adjacent to a street are subject to applicable driveway and garage standards for single family dwellings in WCC 10.47.040.
 - (ii) Parking and garages for individual dwellings may be configured separately on each lot or dwelling site (attached or detached) or clustered in shared parking areas.
 - (iii) Parking areas and garages (individual or shared) shall not be sited adjacent to common open spaces. The Director may allow exceptions where site and/or building design features are integrated to minimize the impacts of garages and parking areas on the function and character of the common open space.
 - (iv) Where parking areas and garages are provided on each dwelling lot or site, shared private lanes may be used to access up to six dwelling units. Shared private lanes are subject to the private lane standards in WCC 11.20.020, except:
 - (A) Maximum length: 150-feet.
 - (B) Minimum width: 15-feet paved lane within a 20-foot wide easement.
 - (v) Where parking areas are clustered in shared arrangements, such parking areas and access lanes are subject to citywide fire-safety and emergency access standards.
- (k) Landscaping. See Residential Development Guidelines Section D.1.
- (l) Covenants enforced by a homeowner's association shall be required to include the perpetual maintenance of all common areas and open spaces and preclude the conversion to another use.

10.47.060 Single family – courtyard. (NEW).

Single family-courtyard is an alternative subdivision layout for single family dwellings where multiple dwelling units are served by a shared private lane. It may be used wherever single family dwellings are allowed by Chapter [10.10](#) WCC, District Use Chart.

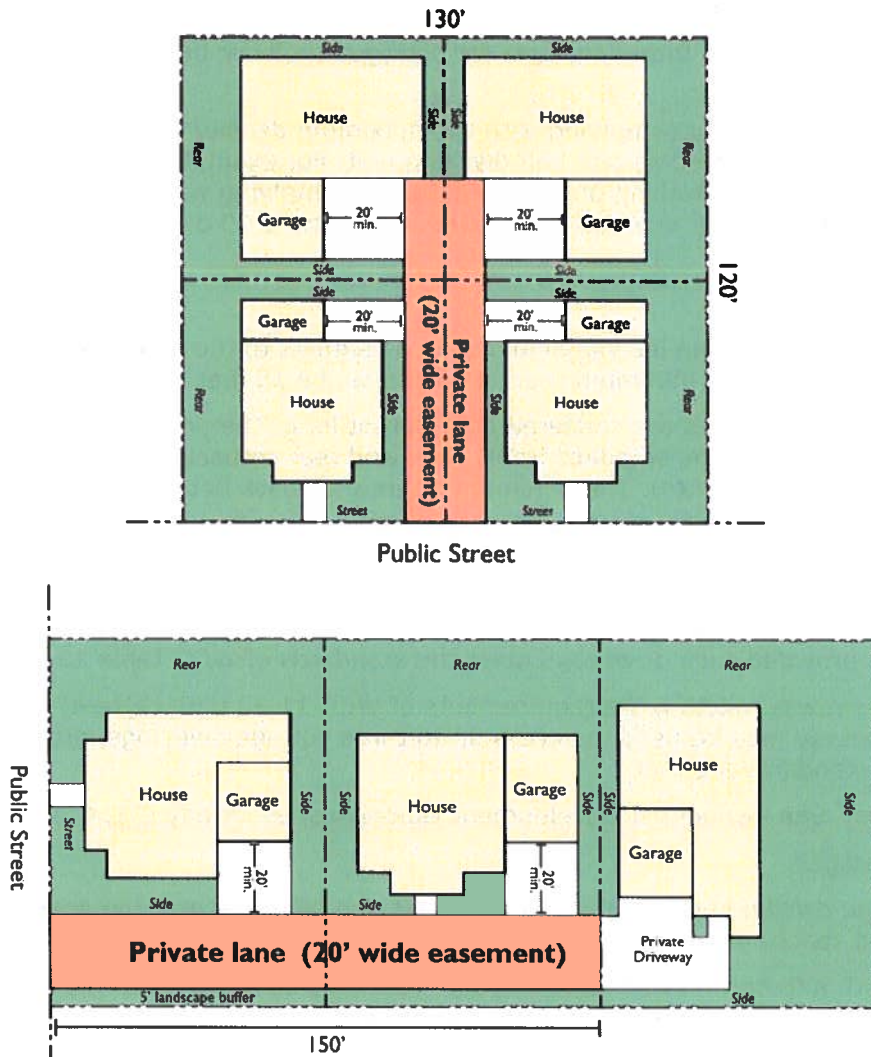
- (1) Purpose. To allow greater flexibility to integrate infill single family lots served by a shared private lane.
- (2) Standards.
 - (a) Maximum number of lots served by a shared private lane: Six (this includes lots fronting the street on either side of the private lane as shown in Figure 10.47.050).
 - (b) Shared private lanes are subject to the private lane standards in WCC 11.20.020, except:
 - (i) Maximum length: 150-feet (see Figure 10.47.050 for examples).
 - (ii) Minimum width: 15-feet paved lane within a 20-foot wide easement.
 - (iii) Maximum number of lots: Six in a single family courtyard development.
 - (c) Setback standards and options for lots served by a shared private lane:
 - (i) Lots fronting on a public street and containing a shared private lane on one side are considered corner lots for the purpose of determining setbacks [see WCC 10.46.080(1)(c) for details].
 - (ii) Open space standards of WCC 10.47.040(e) apply.
 - (iii) Garages facing a shared private lane easement must be setback at least 20 feet from the easement line.
 - (iv) For interior lots featuring a shared private lane and easement extending through one side of the lot, no street setback is required. Such lots are subject to side setbacks on three sides. For

the side of the lot featuring the access easement, the side setback is applied from the edge of the easement. The rear setback is located opposite the shared private lane.

(v) Lots sited at the terminus of a shared private lane easement are exempt from the street setback requirement. Such lots must meet side setbacks on three sides and a rear setback on one side.

(3) See Figure 10.47.060(3) for examples of subdivisions served by shared private lanes and clarification of street, interior, and rear setbacks.

Figure 10.47.060(3)
Examples of courtyard single family developments.



10.47.070 Infill-Cottage housing (two to three units). (NEW, but borrows from existing 10.48.060)

Cottage housing development use permissions are provided by Chapter 10.10 WCC, District Use Chart. Cottage housing developments that feature between two to three cottage dwellings are subject to the following standards unless otherwise regulated within this code.

(1) Purpose.

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To provide opportunities for more affordable housing within single-family neighborhoods.

- (c) To ensure compatibility with neighboring uses.
 - (d) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.
- (2) Standards.
- (a) Occupancy: Cottage housing development options include ownership, rental, condominium, and subdivision. One existing single-family dwelling may be incorporated into an infill-cottage housing development. Nonconforming residences with respect to architectural standards shall be permitted.
 - (b) Minimum and maximum number of cottages.
 - (i) Two units minimum.
 - (ii) Three units maximum.
 - (c) Maximum cottage size: The total floor area for cottages shall not be larger than 1,000 square feet gross floor area.
 - (d) Density: For the purposes of complying with the maximum density of the applicable zoning district, each cottage shall be counted as one-half dwelling unit. For example, for an existing lot that qualifies for between 1.0 and 1.49 dwelling units, two cottages complying with the provisions herein may be built. For an existing lot that qualifies for between 1.50 and 1.99 dwelling units, three cottages may be built.
 - (e) Setbacks.
 - (i) Cottages built on existing individual lots shall be subject to the standard street and side setbacks in WCC 10.46.020. The minimum rear setback shall be 15 feet.
 - (ii) Where multiple cottages are clustered on a parent lot or the units on that lot are subdivided as a unit lot subdivision, the standard front, side, and rear setbacks in WCC 10.46.020 apply to the lot lines of the parent lot(s). The minimum internal setback between cottages is ten feet.
 - (iii) Two cottages may share a common wall with no side yard setback in a duplex arrangement.
 - (f) Access standards.
 - (i) Cottages, where subdivided on their own individual lots, may be accessed by private individual driveways, provided such driveways meet the standards of WCC Table 10.47.030.
 - (ii) A shared driveway meeting the requirements of WCC 11.20.020(11)(i-xi) is allowed. Such shared driveway may be used to access up to three cottage dwellings, provided all other applicable standards are met.
 - (g) Entry standards. See Residential Development Guidelines, especially C.1, C.2.1 and E.5.1.
 - (h) Parking and garages.
 - (i) Each cottage dwelling unit shall provide at least one off-street parking space per bedroom, up to two parking spaces per unit.
 - (ii) Garages with a footprint of up to 300 square feet may be attached to individual cottages provided such garages meet setback standard set forth in subsection (iii) below.
 - (iii) Garages and carports are subject to the setback standards in Chapter 10.46 WCC.
 - (iv) Garages and other parking facilities for the cottages may be located or clustered to the side or rear of cottages. Detached and shared garages or carports are limited in size to 300 square feet footprint per cottage (e.g., up to 900 square feet if shared between three cottages).
 - (i) Maximum height: Notwithstanding 10.46.020 WCC, the maximum of cottages built under this section is 25 feet where a minimum roof slope of 6:12 for all parts of the roof above 18 feet is provided. Otherwise, the maximum cottage height is 18 feet.
 - (j) Minimum open space. Cottage developments may meet their open space standards either with private open spaces or common shared open spaces:
 - (i) Cottage developed on private individual lots are subject to the minimum usable open space standards for single family dwellings in WCC 10.47.030(e).

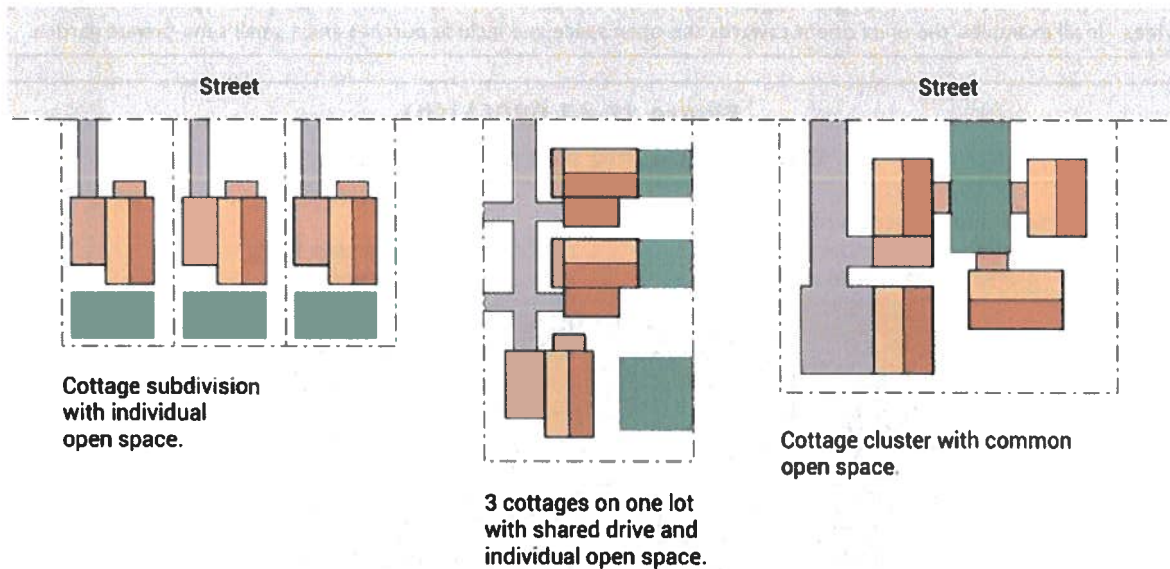
(ii) Cottages opting to include shared common open spaces must integrate such space located between and directly accessible to the cottages. The common open space must contain at least 250 square feet per unit with no dimension less than 20 feet. Common open space shall be improved for passive or active recreational use. Examples may include, but are not limited to, courtyards, non-commercial orchards, landscaped picnic areas or gardens. Common open space shall be located in a separate tract or tracts, and owned in common by all property owners.

(k) Landscaping. See Residential Development Guidelines Section D.1

(l) Covenants enforced by a homeowner's association shall be required to include the perpetual maintenance of all common areas and open spaces and preclude the conversion to another use.

Figure 10.47.060(2)

Example configurations of developments with three cottages.



10.47.080 Cottage housing (four or more units). (Tracked from existing 10.48.060)

Cottage housing development use permissions are provided by Chapter 10.10 WCC, District Use Chart. Cottage housing developments that feature four or more cottage dwellings are subject to the following standards unless otherwise regulated within this code.

(1) Purpose.

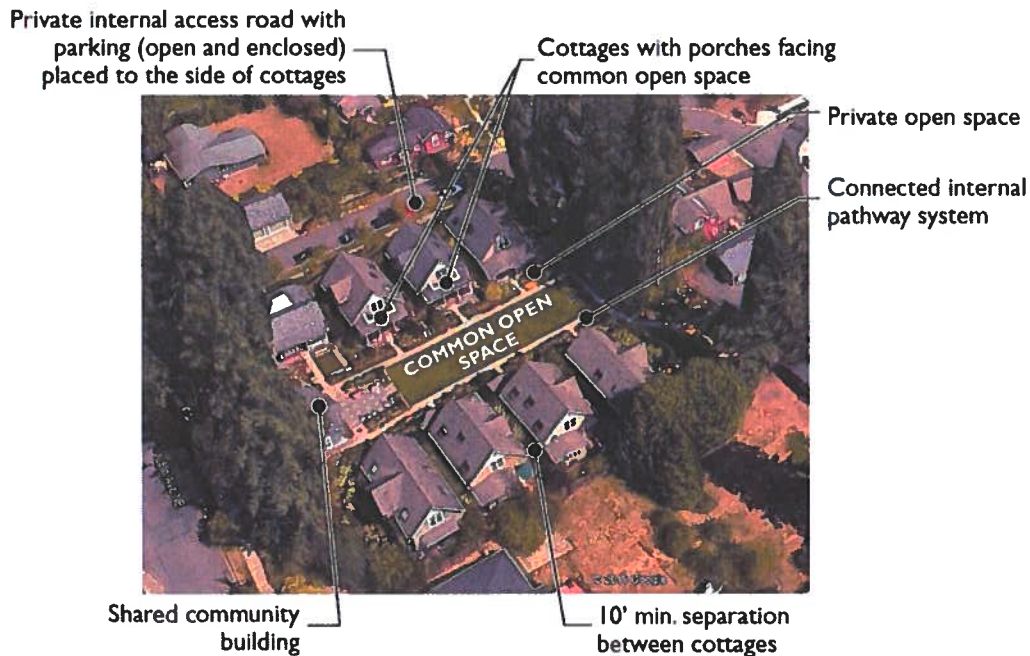
- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To provide opportunities for more affordable housing within single-family neighborhoods.
- (c) To encourage creation of functional usable open space in residential communities.
- (d) To promote neighborhood interaction and safety through design.
- (e) To ensure compatibility with neighboring uses.
- (f) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

Figure 10.47.080(1)(a)
Cottage housing development examples.



Left example: Note the transition between the common open space on the left and the cottages includes a semi-private garden space and a porch. The middle and right images illustrate the standard "commons" as a simple green space for informal recreation activities. In all examples, the units orient towards the open space and include porches and a small semi-private garden.

Figure 10.47.080(1)(b)
Cottage housing site plan example.



(2) Standards.

- (a) Cottage housing development options include ownership, rental, condominium, and subdivision.
- (b) Subdivision: Where a cottage housing development involves a subdivision, development parameters as determined by the City shall be placed on the final plat or final unit lot subdivision. Cottage subdivisions shall be processed as a residential planned development subject to subsection (9) of this section. Approval of a cottage housing development does not constitute approval of a planned development or subdivision.
- (c) Minimum and maximum number of cottages.
 - (i) A single cottage housing development shall include a minimum of four dwelling units, up to a maximum of 24 units. The City may allow development of more than 24 dwelling units if all of the purposes stated above are achieved.
 - (ii) Four to 12 cottage structures may make up a cluster (a grouping of cottages situated around a

common open space or pedestrian circulation network, each with an entry facing the courtyard or pedestrian system).

~~(iii)~~ Carriage units are permitted within a cottage development; provided, no more than one-third of the total units within a cottage development are carriage units.

(d) Maximum cottage size: The total floor area for ~~cottages-a cottage~~ shall range between 650 square feet to 1,250 square feet; provided, the ground floor is not greater than 1,080 square feet.

(e) Density: For the purposes of complying with the maximum density of the applicable zoning district, each cottage shall be counted as one-half dwelling unit. For example, for an existing lot that qualifies for three dwelling units would qualify for six cottages.

(f) Setbacks.

(i) Cottages built along streets are subject to the applicable street setbacks in WCC Chapter 10.46.

(ii) Cottages built **adjacent to** side property lines are subject to the applicable side setback.

(iii) Cottages built along rear property lines of the parent lot(s) shall maintain a ten-foot minimum setback in the RS and RL zones and a five-foot minimum setback in all other applicable zones.

(iv) The minimum internal setback between cottages is ten-feet, **except that two cottages may share a common wall as in a duplex configuration. Within a given development, up to 1/2 of the cottages may feature the shared wall/duplex configuration.**

~~Cottage housing developments shall be exempt from the underlying zoning district standards for minimum lot size, minimum lot dimensions, and maximum number of primary dwelling units.~~

~~(e)(g)~~ Site design and orientation. Dwellings within a cottage housing development ~~shall~~**ould** be oriented to promote a sense of community, both within the development, and with respect to the larger community, outside of the cottage project. A cottage development ~~shall~~**ould** not be designed to "turn its back" on the surrounding neighborhood **by locating rear yards to face a public street.**

(i) Clear and obvious pedestrian access between the sidewalk (or the street if there is no sidewalk) and the building entry is required for new cottage dwellings.

(ii) All new cottage dwellings adjacent to a street must meet the Residential Design Guidelines, especially C.1 (Ground related units facing streets, common pathways, or common open space, C.2.1 (Pedestrian connectivity within multi-unit residential development with more than one building) and E.5.1. (Building entrances: configuration and details).

~~Minimum development setbacks from exterior property lines shall be 20 feet from public streets and 10 feet from neighboring properties. Internal setbacks not abutting an exterior property line shall be determined consistent with building and fire code standards.~~

~~(i)(iii)~~ Common open space shall be provided in a centrally located focal area for the development and abut at least 50-percent of the cottages in the development (see open space standards below); direct access to the common open space shall be provided for each cottage by a paved walkway. **See also Residential Design Guideline D.3 Residential open Space Elements.)**

~~(ii)(iv)~~ One existing single-family dwelling may be incorporated into a cottage housing development of six or more cottages as a residence. Nonconforming residences with respect to architectural standards shall be permitted.

~~(iii)(v)~~ A cottage housing development may contain one community building that is clearly incidental in use and similar in size and architectural design of cottages. Such community building shall be located on the same site as the cottage housing development and be commonly owned by the residents.

~~(iv)(vi)~~ Cul-de-sacs are not permitted within a cottage development, unless site **it can be demonstrated that no other configuration is infeasible. ity can be demonstrated.**

~~(f)(h)~~ Architectural-Building design and orientation. **See Section E in the Residential Design velopment Guidelines**

~~(g)(i)~~ Open Space.

(i) A common open space is required for each cottage cluster.

(ii) A minimum of 200 square feet of common open space shall be provided per dwelling unit.

(A) Common open space within a development shall be a minimum of 1,000 square feet in size with no dimension less than 15 feet, regardless of the number of dwelling units.

(B) Common open space shall meet the requirements of the Residential Design Guidelines, especially, C.3.2.b. and be improved for passive or active recreational use. Examples may include, but are not limited to, courtyards, non-commercial orchards, landscaped picnic areas or gardens, wildlife viewing areas, etc.

(C) Fences are not allowed within any common open space area.

(D) Common open space shall be located in a separate tract or tracts, and owned in common by all property owners.

See Figures 10.47.080(1)(a) and (b) for examples.

~~(ii)~~(iii) Each cottage unit shall include a minimum of 200 square feet of private open space (in addition to common open space. The private open space shall have no dimension less than 10 feet, and be located adjacent to the unit which it serves, and feature direct access to the private open space via door. Examples include a semi-private garden space between a dwelling and the common open space. See Figures 10.47.080(1)(a) and (b) for examples.

~~(iii)~~(iv) Surface water management facilities shallmay be included in the open space calculation for meeting minimum requirements, if it can be demonstrated that they are designed so that residents can use the space similar to other open space designations.

~~(#)(j)~~ Access, driveways, parking, and garages.

(i) Unless a higher classification of road is required by the City Engineer to provide for consistency with the Wenatchee Urban Area Plan, internal access and circulation shall meet the requirements of, Fire Apparatus Access Road, of the most current addition of the International Fire Code, as amended. Where a standard residential subdivision or binding site plan is proposed associated with these developments, the standards provided in, Section 11.20.020 Streets, WCC shall also apply.

(ii) Each cottage dwelling unit shall provide at least one off-street parking space per bedroom, up to two parking spaces per unit. Carriage units shall provide one off-street parking space.

(iii) Cottages adjacent to a street are subject to applicable driveway and garage standards for single family dwellings in WCC 10.47.040.

~~(iii)(iv)~~ Parking areas shall be located to the side or rear of cottage clusters (not between the cottages and the street front unless no other configuration is feasible, as determined by the director). Surface parking lots shall be located along the perimeter of cottage developments and broken into sublots of no more than six parking spaces, separated by a minimum distance of 20 feet. Landscaping in form of hedges or architectural barriers is required to screen surface parking lots for neighboring properties and common open spaces.

~~(iv)(v)~~ Private garages are allowed to be attached to or detached from individual cottages if less than 250 square feet in size, set back 10 feet from the primary facade, and accessible by an alley or shared private lane. Private garages shall match the architectural style of the cottage.

(vi) Enclosed parking areas are encouraged to may be grouped into a single structure, clustered, with no more than three parking spaces together within one structure not greater than 800 square feet. Individual garage doors shall be one car width.

~~(#)~~ Where parking areas are clustered in shared arrangements, such parking areas and access lanes are subject to citywide fire safety and emergency access standards.

~~(#)(k)~~ Landscaping. Cottage housing developments shall adhere to the landscape and screening chapter, Chapter 10.62 WCC. See also Residential Development Guidelines section D.1.

~~(#)(l)~~ Architectural design. See Residential Design Guidelines Section E: Building Design

~~(#)~~ Cottage Housing Requirements for Subdivision:

~~(i)~~ Chapter 10.42 WCC, Planned Developments, shall be used for the processing of any cottage

~~housing subdivision, provided WCC 10.42.060(3), Zoning Requirements, shall not be subject to cottage housing.~~

- (m) Covenants enforced by a homeowner's association shall be required to include the perpetual maintenance of all common areas and open spaces and preclude the conversion to another use. (Ord. 2011- 49 § 4 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.47.090 Duplexes. *(Nearly a complete update of 10.48.070).*

All duplexes where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

- (1) Purpose. The intent of these standards is to allow for residential infill that is compatible with the character and scale of existing residential neighborhoods without adversely impacting neighbors, the broader neighborhood, and the community as a whole. Furthermore, the purpose of these duplex design standards is to:
- (a) To enhance the character of the street and neighborhood.
 - (b) To maintain "eyes on the street" for safety to pedestrians and to create a more welcoming and interesting streetscape.
 - (c) To de-emphasize garages and driveways as major visual elements along the street.
 - (d) To provide usable open space for residents.

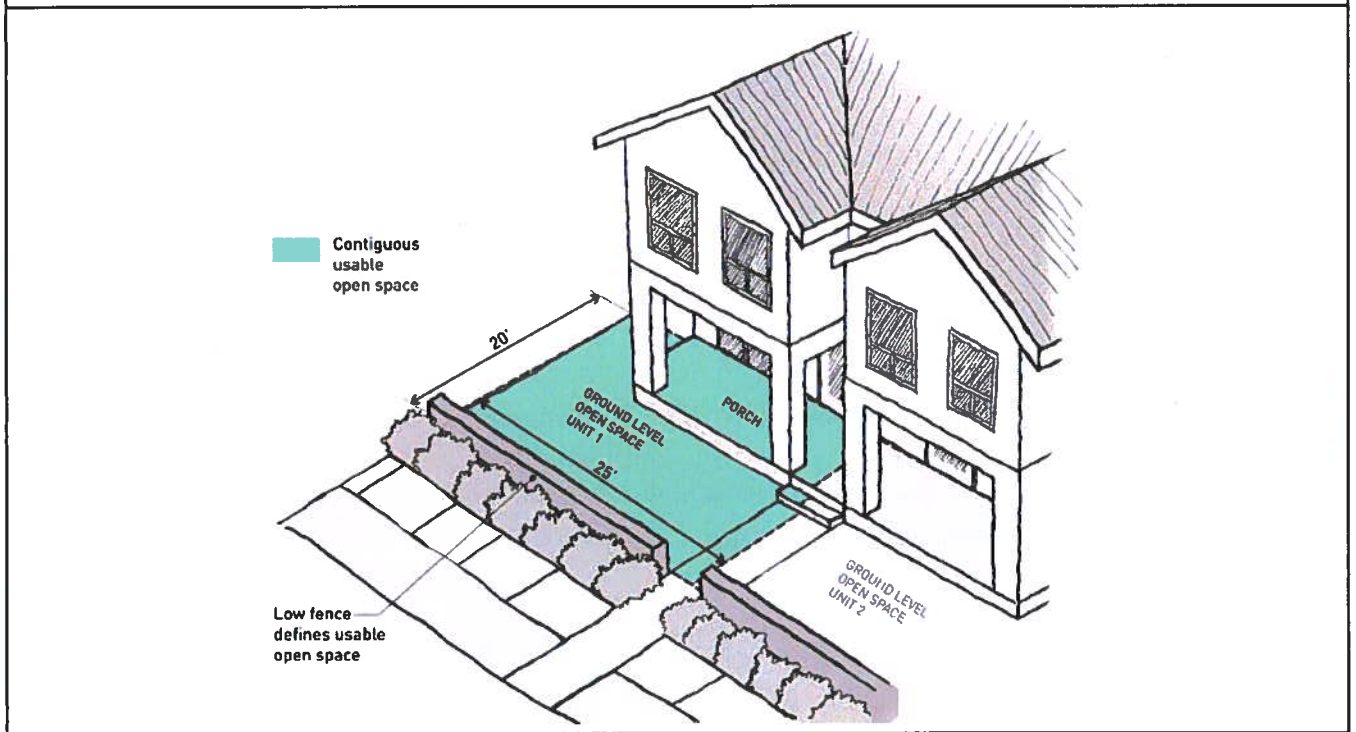
(2) Standards.

~~Conversion of single family dwelling units adding 20 percent or less of the existing gross floor area shall be exempt from standards for the roof and front forward garages.~~

- (a) Off-street parking. Each dwelling unit shall have one parking stall per bedroom up to two stalls per dwelling unit.
 - (b) Access. Access to principal or minor arterial streets shall be limited to a single driveway (18 feet maximum width) per unit unless accessed from an alley.
 - (c) Architectural design. See Residential Design Guidelines Section E: Building Design.
- (3) Minimum usable open space. Duplexes shall include usable open space for each dwelling unit:
- (a) Each unit must include a contiguous open space with a minimum dimension of 15 feet on all sides. The Director will allow a reduced minimum dimension of 10 feet on all sides provided multiple usable open spaces are integrated such as upper level decks or balconies.
 - (b) The combined open spaces must be equivalent to ten-percent (minimum) of the duplex lot area. For example, an 8,000 square foot lot would require a usable open spaces of at least 800 square feet [e.g., 20 feet by 20 feet (400 square feet) for each unit]. Unenclosed ground level porches and patio areas and upper floor decks may be included in the open space calculations.
 - (c) Street setbacks may be used to meet this standard provided they are defined with a fence meeting the standards of WCC 10.48.180.
 - (d) Drive aisles must not count in the calculations for usable open space.
 - (e) Additions must not create or increase any non-conformity with this standard.

Figure 10.47.090.a

Example of integrating a duplex's minimum usable open space into the street setback.



10.47.100 Courtyard housing. (NEW)

All courtyard housing developments where allowed by Chapter [10.10](#) WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines shall meet the following standards unless otherwise regulated within this code. Courtyard housing is characterized by attached multifamily units arranged around a courtyard. The units may be all ground related, like townhouses, or a combination of ground related and upper story residences. Courtyard housing on a single lot is a special case of "multifamily development", but standards for courtyard housing are separated here because of that housing type's unique configuration around a courtyard or open space.

(1) Purpose.

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To provide opportunities for more affordable housing within single-family neighborhoods.
- (c) To encourage creation of functional usable open space in a pleasant setting.
- (d) To promote neighborhood interaction and safety through design.
- (e) To ensure compatibility with neighboring uses.
- (f) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

Figure 10.47.100
Courtyard housing development examples.



(2) Standards.

- (a) Courtyard housing development options include ownership, rental, condominium, and subdivision.
- (b) Subdivision: Where a courtyard housing development involves a subdivision, development parameters, as determined by the City, may be placed on the final plat or final unit lot subdivision.
- (c) Minimum and maximum number of dwelling units.
 - (i) A single courtyard housing development shall include a minimum of four dwelling units, up to a maximum of 24 units. The City may allow development of more than 24 dwelling units if all of the purposes stated above are achieved.
- (d) Density: The maximum density shall be as described in WCC 10.46.020, except that dwelling units under 1,000 square feet (excluding unenclosed front porches) may be counted as ½ unit (resulting in a 100-percent density bonus).
- (e) Setbacks.
 - (i) Courtyard buildings facing public streets are subject to the applicable street setbacks in WCC Chapter 10.46.
 - (ii) Courtyard buildings built along the side yards of adjacent properties (not in the development) are subject to the applicable side setback.
 - (iii) Courtyards built along rear property lines of adjacent properties (not in the development) shall maintain ten-foot minimum setbacks in the RS and RL zones and five-foot minimum setbacks in all other applicable zones.
 - (iv) There is no minimum internal setback between units within a courtyard development.
- (f) Site design and orientation. Dwellings within a courtyard housing development shall be oriented to promote a sense of community, both within the development, and with respect to the larger community, outside of the courtyard project.
 - (i) Clear and obvious pedestrian access and visual access between the sidewalk (or the street if there is no sidewalk) and the courtyard is required for new courtyard dwellings.
 - (ii) All new courtyard dwellings adjacent to a street must meet the Residential Design Guidelines, especially C.1 (Ground related units facing streets, common pathways, or common open space, C.2.1 (Pedestrian connectivity within multi-unit residential development with more than one building) and E.5.1. (Building entrances: configuration and details).
 - (iii) Common open space shall be provided in a centrally located focal area for the development and about at least 50-percent of the courtyards in the development (see open space standards below); direct access to the common open space shall be provided for each courtyard by a

paved walkway.

- (g) Building design and orientation. See Section E in the Residential Design Guidelines
- (h) Open Space.
 - (i) A common open space is required for each courtyard cluster.
 - (ii) A minimum of 200 square feet of common open space shall be provided per dwelling unit.
 - (A) Common open space within a development shall be a minimum of 800 square feet in size with no dimension less than 15 feet, regardless of the number of dwelling units.
 - (B) Common open space shall meet the requirements of the Residential Design Guidelines, especially, C.3.2.b. be improved for passive or active recreational use. Examples may include, but are not limited to, courtyards, orchards, landscaped picnic areas or gardens.
 - (C) Fences are not allowed within any common open space area.
 - (D) Common open space shall be located in a separate tract or tracts and owned in common by all property owners.
 - (E) Setbacks, porches and other measures required in Residential Development Guideline C.1.1 shall not be counted as common open space.
 - (iii) Surface water management facilities may be included in the open space calculation for meeting minimum requirements, if it can be demonstrated that they are designed so that residents can use the space similar to other open space designations.
- (i) Access, parking, and garages.
 - (i) Unless a higher classification of road is required by the City Engineer to provide for consistency with the Wenatchee Urban Area Plan, internal access and circulation shall meet the requirements of, Fire Apparatus Access Road, of the most current addition of the International Fire Code, as amended. Where a standard residential subdivision or binding site plan is proposed associated with these developments, the standards provided in, Section 11.20.020 Streets, WCC shall also apply.
 - (ii) Each courtyard dwelling unit shall provide one off-street parking space per bedroom, up to two parking spaces per unit
 - (iii) Parking areas shall be located to the side or rear of courtyard units (not between the courtyard and the street front unless no other configuration is feasible, as determined by the City) Landscaping in form of hedges or architectural barriers is required to screen surface parking lots for neighboring properties and common open spaces.
 - (iv) Private garages are allowed to be attached to or detached from individual courtyard units if less than 250 square feet in size and accessible by an alley or shared private lane. Private garages shall match the architectural style of the courtyard units.
 - (v) Enclosed parking areas may be grouped together within one or more structures. Individual garage doors shall be one car width.
- (j) Landscaping. Courtyard housing developments shall adhere to the landscape and screening chapter, Chapter [10.62](#) WCC. See also Residential Development Guidelines Section D.1.
- (k) Covenants enforced by a homeowner's association shall be required to include the perpetual maintenance of all common areas and open spaces and preclude the conversion to another use. (Ord. 2011- 49 § 4 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.47.110 Townhouses. (NEW).

All townhouses where allowed by Chapter 10.10 WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines shall meet the following standards unless otherwise regulated within this code.

(1) Purpose.

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To encourage creation of functional usable open space in residential communities.
- (c) To enhance the streetscape and promote neighborhood interaction and safety through design.
- (d) To ensure compatibility with neighboring uses.
- (e) To enhance design character and livability of townhouse developments.
- (f) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

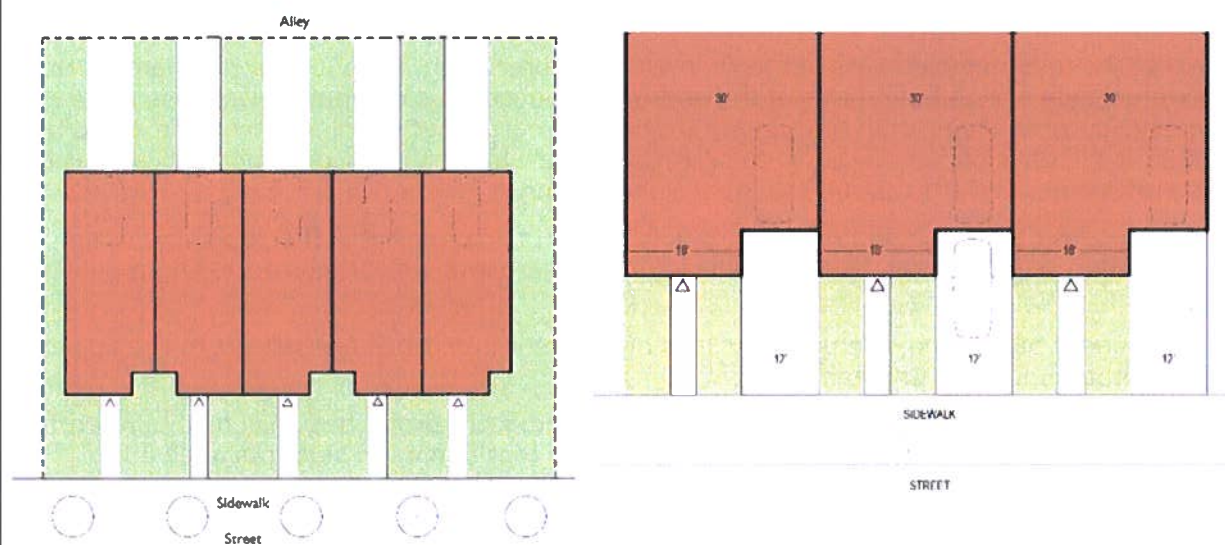
(2) Standards.

- (a) **Setbacks.** The minimum setbacks set forth in WCC Chapter 10.46 apply to development frontage and external side and rear setbacks of the entire townhouse development. Townhouse units within a single development are exempt from internal side and rear setbacks unless otherwise noted below. However, if the development includes the creation of new lots, the new development must conform to the provisions of WCC 11.32.080 Unit Lot Subdivisions.
 - (i) Townhouses built along and oriented to public streets are subject to the applicable street setbacks in WCC Chapter 10.46. Additionally, the setbacks for garages accessing a public street apply.
 - (ii) Townhouses built along side property lines of adjacent properties are subject to the applicable side setbacks in WCC Chapter 10.46.
 - (iii) Townhouses built along rear property lines of adjacent properties shall maintain ten-foot minimum setbacks in the RS and RL zones and five-foot minimum setbacks in all other applicable zones.
 - (iv) The minimum internal setback between townhouse buildings built around and facing a common open space or pathway is 15-feet from the front façade of the opposite building.
 - (v) The minimum street setback for townhouses, (including porches and covered entries) built along and oriented to a private lane or drive shall be 10 feet from the back edge of the sidewalk or 25 feet from the edge of roadway pavement. The minimum setback for a garage facing a private lane shall be at least 5 feet further from the roadway than the front building façade, including a porch or covered entry.
 - (vi) See also requirements for ground related residential units in Residential Design Guidelines Section C.1.1.
- (b) **Entries.** See Residential Design Guidelines Section E.5.1.
- (c) **Garages and access.** Private garages facing the street - maximum garage widths:
 - (i) Private individual driveways (maximum 12-feet wide) and single-car width garages (maximum ten-feet wide; tandem garages are permitted) are allowed where townhouse units are at least 30-feet wide.
 - (ii) Where townhouse units feature access from a public street and are less than 30-feet wide, access to garages and off-street parking shall be provided by an alley or shared-driveway meeting the provisions of subsection (iii) below. See Figure 10.47.100(c) below for examples.
 - (iii) Unless a higher classification of road is required by the City Engineer to provide for consistency with the Wenatchee Urban Area Plan, internal access and circulation shall meet the requirements of, Fire Apparatus Access Road, of the most current addition of the International Fire Code, as amended. Where a standard residential subdivision or binding site plan is proposed associated with these developments, the standards provided in, Section 11.20.020 Streets, WCC

shall also apply.

- (iv) Where townhouses feature access from a private lane or drive, Private individual driveways (maximum 12-feet wide) and single-car width garages (maximum ten-feet wide; tandem garages are permitted) are allowed.
- (v) Minimum building separation along internal drive aisles must be 24 feet. Projections into this minimum building separation standard are permitted for each building consistent with the reduced side yard setback provisions referenced in WCC 10.46.080(3). The purpose is to provide adequate vehicular turning radius, allow for landscaping elements on at least one side, and to provide adequate light and air on both sides of the dwelling units and vehicle areas, which often function as usable open space for residents.

Figure 10.47.110(c)
Townhouse garage access configurations –
acceptable and unacceptable examples.



The left example includes alley access to private garages. The right example includes front-loaded townhouses units that meet the 30' minimum width standard for such designs that include individual 12' maximum driveway widths accessed from the street.



The left example features individual driveways and garages for townhouses less than 30' wide (and thus would not be allowed).

- (d) Parking. Off-street parking standards for townhouses are set forth in WCC 10.60.080 as a type of multifamily dwelling (based on the number of bedrooms).
- (e) Usable open space. Townhouse dwellings must provide open space at least equal to ten-percent of

the gross floor area. The required open space may be provided by one or more of the following:

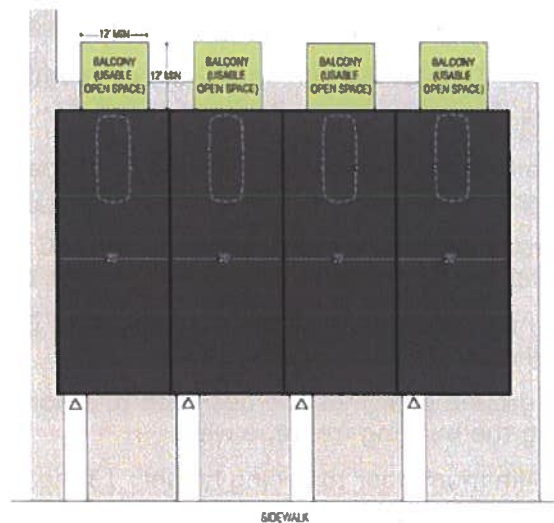
- (i) Private ground level open space that is directly adjacent and accessible to dwelling units. Such space must have minimum dimensions of at least 12-feet on all sides and be configured to accommodate human activity such as outdoor eating, gardening, toddler play, etc. Street setbacks from private lanes or drives may be used to meet this standard, provided they are defined with a fence meeting standards of WCC 10.48.080.
- (ii) Balconies, roof decks or porches.

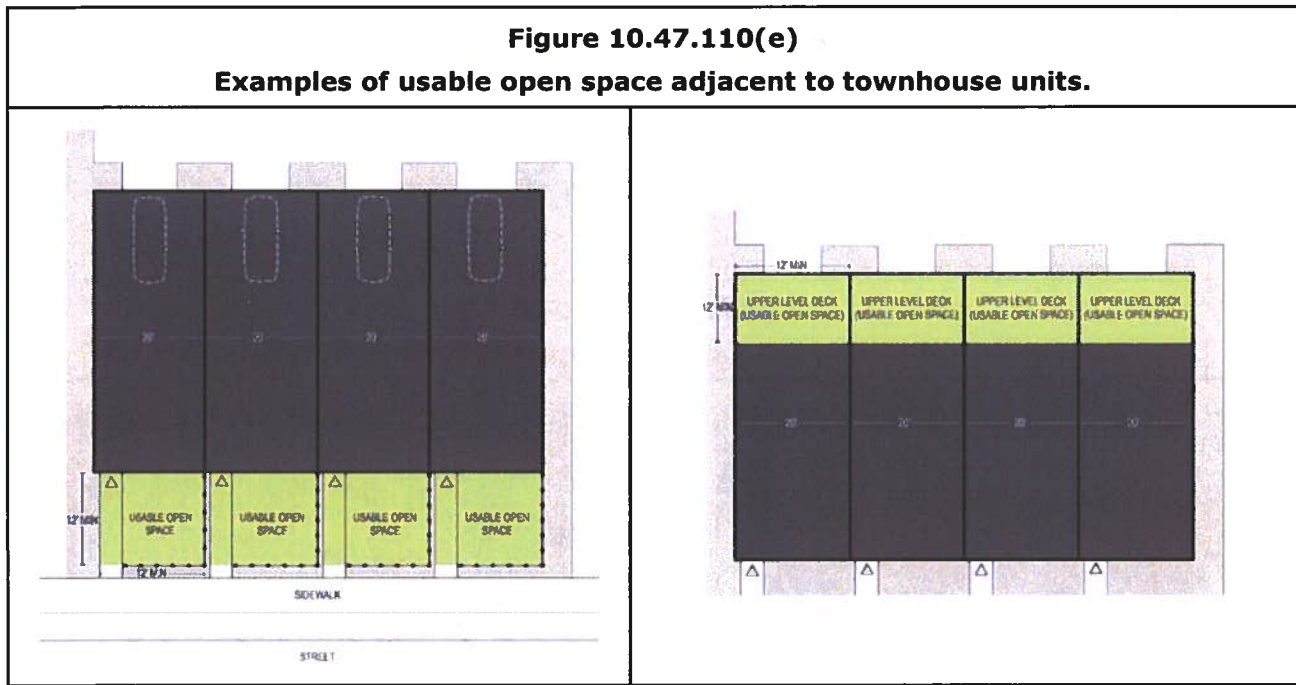
Figure 10.47.110(e)

Examples of usable open space adjacent to townhouse units.



The lower left example includes usable open space in the front yard. The lower right example includes an upper level deck the full width of the unit. The right example uses a balcony that's placed over the garage driveway.





(f) Building design. See Residential Design Guidelines Section E.

10.47.120 Live-Work dwellings. *(NEW)*

A live-work dwelling is a dwelling unit designed to accommodate a small commercial enterprise on the ground floor and a residential unit above and/or behind. A live-work dwelling may be designed as any type of household living dwelling unit. All live-work dwellings, where allowed by Chapter [10.10](#) WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

- (1) Purpose. To allow for the opportunity to combine live/work functions into one dwelling.
- (2) Standards.
 - (a) Permitted non-residential uses may be those that are permitted in the applicable zone or overlay designation as established by Chapter [10.10](#) WCC, District Use Chart.
 - (b) See standards in other subsections of WCC 10.46 and 10.47 as well as the Residential Design Guidelines for the applicable dwelling type the live-work use resides in.
 - (c) The non-residential use may occupy up to 50-percent of the gross floor area of the live-work dwelling.
 - (d) The ground floor must be designed to accommodate non-residential uses. This includes an area along the building frontage with:
 - (i) Minimum floor to ceiling height: 13 feet.
 - (ii) A ground floor interior room facing a public entrance suitable for business uses at least 250 square feet in floor area.
 - (e) The residential use and the non-residential use are subject to the provisions of WCC Chapter 10.60. Exception: Where non-residential net floor area is less than 1,000 square feet and where on-street parking is available along the site's frontage, uses that require less than four spaces per 1,000 square feet of net floor area per WCC 10.60.080 are exempt from additional off-street parking spaces.

10.47.130 Multifamily development. *(Complete update of 10.48.080)*

The provisions herein apply to multifamily dwellings, as defined in WCC 10.08.055, except for courtyard housing (see WCC 10.47.090) and townhouses (see WCC 10.47.100).

- (1) Purpose.

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To provide opportunities for more affordable housing close to transit, employment and services.
- (c) To ensure compatibility with neighboring uses.
- (d) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

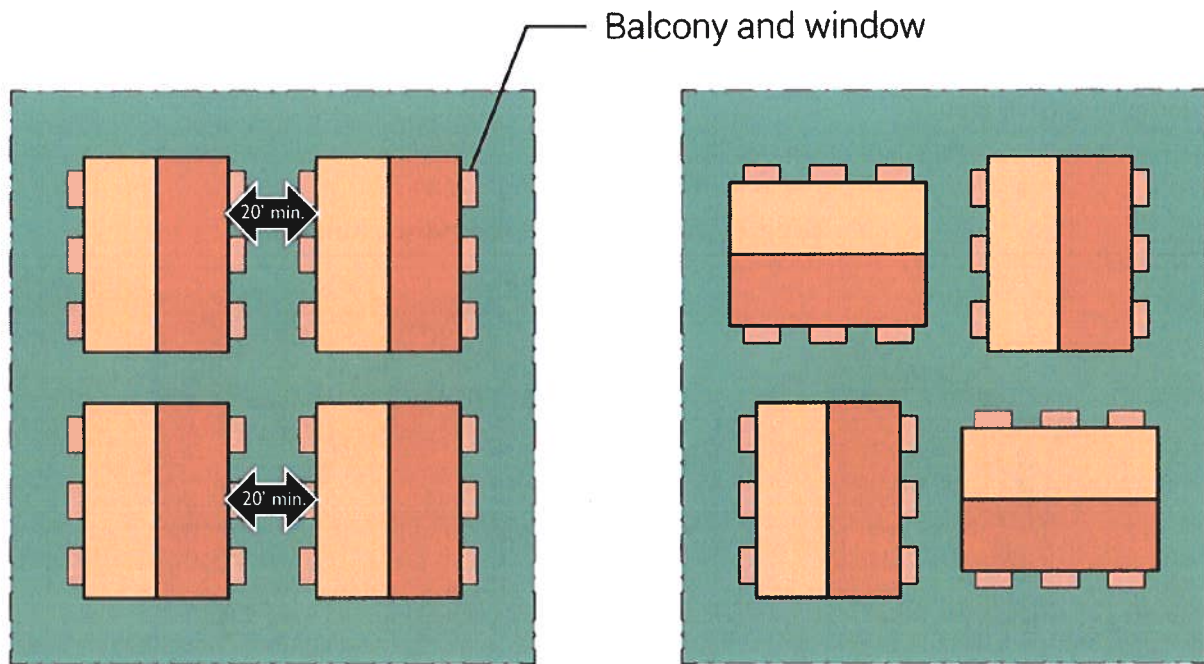
Figure 10.47.130(1)
Multifamily housing development examples.



(2) Standards.

- (a) Multifamily housing development options include ownership, rental, and condominium.
- (b) **Density:** The maximum density shall be as described in WCC 10.46.020.
- (c) **Setbacks.**
 - (i) Multifamily buildings are subject to the applicable yard setbacks in WCC Chapter 10.46.
 - (ii) Multifamily development built along rear property lines of adjacent properties (not in the development) shall maintain ten-foot minimum setbacks in the RS and RL zones and five-foot minimum setbacks in all other applicable zones.
 - (iii) If more than one multifamily building is built on a single lot, building faces with windows facing into opposing/adjacent residential units must be at least 20 feet apart.

Figure 10.47.130(2)
Multifamily housing development examples.



The buildings in the left example, where units and balconies face each other, shall be placed at least 20 feet apart. The configuration of buildings on the right, where units face the side of other buildings and thus feature less privacy impacts, are not subject to the 20 foot setback requirement.

- (d) Site design and orientation. Dwellings within a multifamily housing development shall be oriented to provide both access and privacy for the residents.
 - (i) Clear and obvious pedestrian access and visual access between the sidewalk (or the street if there is no sidewalk) and the multifamily is required for new multifamily dwellings.
 - (ii) For all new multifamily dwellings adjacent to a street, see Residential Design Guidelines, especially C.1, C.2.1 and E.5.1.
- (e) Building design and orientation. See Section E in the Residential Design Guidelines
- (f) Open space.
 - (i) Amount of required residential open space. All new multifamily buildings with three or more residential units shall either provide on-site open space of 100 square feet per dwelling unit or 10-percent of residential unit floor area, (excluding hallways and common areas) that provides functional leisure or recreational activities. (The lesser amount of the two calculations is acceptable.) The open space may be in the form of common open space, balconies, roof decks, indoor recreation spaces or similar features provided they meet the requirements of the Residential Design Guidelines Section C.3. Required setback areas shall count as part of the required open space requirement if they meet the requirements in the Residential Design Guidelines.
 - (ii) Surface water management facilities may be included in the open space calculation for meeting minimum requirements, if it can be demonstrated that they are designed so that residents can use the space similar to other open space designations.
- (g) Access, parking, and garages.
 - (i) Unless a higher classification of road is required by the City Engineer to provide for consistency with the Wenatchee Urban Area Plan, Internal access and circulation shall meet the requirements of, Fire Apparatus Access Road, of the most current addition of the International Fire Code, as amended. Where a standard residential subdivision or binding site plan is proposed

associated with these developments, the standards provided in, Section 11.20.020 Streets, WCC shall also apply.

- (ii) Each multifamily dwelling unit shall provide at least one off-street parking space per bedroom, up to two parking spaces per unit.
- (iii) Parking areas shall be located to the side or rear of multifamily units (not between the multifamily building) and the street front unless no other configuration is feasible, as determined by the City) Landscaping in form of hedges or architectural barriers is required to screen surface parking lots for neighboring properties and common open spaces.
- (iv) Private garages are allowed to be attached to or detached from individual multifamily units if less than 250 square feet in size and accessible by an alley or shared driveway. Private garages shall match the architectural style of the multifamily units.
- (v) Enclosed parking areas are encouraged to be clustered, with no more than three parking spaces together within one structure not greater than 800 square feet. Individual garage doors shall be one car width.
- (h) Landscaping. Multifamily housing developments shall adhere to the landscape and screening chapter, Chapter 10.62 WCC. See also Residential Development Guidelines Section D.1.
- (i) Architectural design. Conform to the Residential Design Guidelines Section E.
- (j) General storage. Storage of personal property and materials, of residents as well as managers and owners of a development, shall be located outside of required street setback areas, and it shall be entirely within an enclosed building or screened from view of the surrounding properties with a sight obscuring fence and landscaping

10.47.140 Mixed-use development or building. (NEW)

All mixed-use buildings or developments, where allowed by Chapter 10.10 WCC, District Use Chart, shall meet standards applicable to the specific mix of uses integrated into the development or building. For example, a building integrating ground floor commercial and upper-story multifamily will be subject to:

- (1) District development standards of Chapter 10.46, WCC.
- (2) Other applicable development standards associated with commercial development within this title.
- (3) WCC 10.47.120, Multifamily development.

10.47.150 Access. (NEW)

Alley access is required for all residential development on sites adjacent to alleys where the Director determines that the alley is sufficiently improved to provide adequate circulation.

10.47.160 Manufactured home communities. (NEW)

Manufactured home communities use permissions are provided by Chapter 10.10 WCC, District Use Chart. Manufactured home communities that feature four or more manufactured homes are subject to the following standards unless otherwise regulated within this code.

- (1) Purpose.
 - (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
 - (b) To provide opportunities for more affordable housing within single-family neighborhoods.
 - (c) To encourage creation of functional usable open space in residential communities.
 - (d) To promote neighborhood interaction and safety through design.
 - (e) To ensure compatibility with neighboring uses.
 - (f) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.
- (2) Standards.
 - (a) Manufactured home community options include ownership, rental, condominium, and subdivision.

- (b) Manufactured homes placed in the Manufactured Home Community shall meet the definition of both "Manufactured Home" and "Manufacture home, designated" found in WCC10.08.100 and the standards in WCC10.47.020 in addition to the standards in this section.
- (c) Subdivision: Where a manufactured home community involves a subdivision, development parameters as determined by the City shall be placed on the final plat or final unit lot subdivision. Where manufactured home communities involve the lease of various spaces, the layout shall be placed on a binding site plan meeting the standards in Title 11.
- (d) Minimum and maximum number of units.
 - (i) A single manufactured home community shall include a minimum of four dwelling units.
 - (ii) Four to 12 units may make up a cluster (a grouping of units situated around a common open space or pedestrian circulation network, each with an entry facing the courtyard or pedestrian system).
- (e) Maximum floor area: The total floor area for a unit in a manufactured home community shall be no larger than 1,500 square feet.
- (f) Density: The manufactured home community shall comply with the density of the applicable zoning district.
- (g) Setbacks.
 - (i) Units placed along streets are subject to the applicable street setbacks in WCC Chapter 10.46.
 - (ii) Units placed adjacent to side property lines are subject to the applicable side setback.
 - (iii) Units placed along rear property lines of parent lot(s) shall maintain ten-foot minimum setbacks in the RS and RL zones and five-foot minimum setbacks in all other applicable zones.
 - (iv) The minimum internal setback between manufactured or mobile homes is ten-feet.
- (h) Site design and orientation. Dwellings within a manufactured home community shall be oriented to promote a sense of community, both within the development, and with respect to the larger community, outside of the project. The development shall not be designed to "turn its back" on the surrounding neighborhood by locating rear yards to face a public street.
 - (i) Clear and obvious pedestrian access between the sidewalk (or the street if there is no sidewalk) and the building entry is required for new manufactured homes.
 - (ii) All new manufactured homes adjacent to a street must meet the Residential Design Guidelines, especially C.1 (Ground related units facing streets, common pathways, or common open space, C.2.1 (Pedestrian connectivity within multi-unit residential development with more than one building) and E.5.1. (Building entrances: configuration and details).
 - (iii) Common open space shall be provided in a centrally located focal area for the development and abut at least 50-percent of the units in the development (see open space standards below); direct access to the common open space shall be provided for each unit by a paved walkway. See also Residential Design Guideline D.3 Residential open Space Elements.)
 - (iv) One existing single-family dwelling may be incorporated into a manufactured home community of six or more units as a residence. Nonconforming residences with respect to architectural standards shall be permitted.
 - (v) A manufactured home community may contain one community building that is clearly incidental in use and similar in size and architectural design of the units. Such community building shall be located on the same site as the development and be commonly owned by the residents.
 - (vi) Cul-de-sacs are not permitted within a manufactured home community, unless it can be demonstrated that no other configuration is feasible.
- (i) Building design and orientation. See Section E in the Residential Design Guidelines
- (j) Open Space.
 - (i) A common open space is required for each cluster of units.
 - (ii) A minimum of 200 square feet of common open space shall be provided per dwelling unit.

- (A) Common open space within a development shall be a minimum of 1,000 square feet in size with no dimension less than 15 feet, regardless of the number of dwelling units.
- (B) Common open space shall meet the requirements of the Residential Design Guidelines, especially, C.3.2.b. and be improved for passive or active recreational use. Examples may include, but are not limited to, courtyards, non-commercial orchards, landscaped picnic areas or gardens, wildlife viewing areas, etc.
- (C) Fences are not allowed within any common open space area.
- (D) Common open space shall be located in a separate tract or tracts and owned in common by all property owners.
- (E) See Figures 10.47.070(1)(a) and (b) for examples.
- (iii) Each unit shall include a minimum of 200 square feet of private open space (in addition to common open space. The private open space shall have no dimension less than 10 feet, be located adjacent to the unit which it serves and feature direct access to the private open space via door. Examples include a semi-private garden space between a dwelling and the common open space. See Figures 10.47.070(1)(a) and (b) for examples.
- (iv) Surface water management facilities may be included in the open space calculation for meeting minimum requirements, if it can be demonstrated that they are designed so that residents can use the space similar to other open space designations.
- (k) Access, driveways, parking, and garages.
 - (i) Each dwelling unit or space for a dwelling unit shall provide two parking spaces on the site in the shared parking area following the standards in WCC10.60.
 - (ii) Units adjacent to a street are subject to applicable driveway and garage standards for single family dwellings in WCC 10.47.040.
 - (iii) Parking areas shall be located to the side or rear of unit clusters (not between the units and the street front unless no other configuration is feasible, as determined by the director) Landscaping in the form of hedges or architectural barriers is required to screen surface parking lots for neighboring properties and common open spaces.
 - (iv) Private garages are allowed to be attached to or detached from individual units if less than 250 square feet in size and accessible by an alley or shared private lane. Private garages shall match the architectural style of the units.
 - (v) Enclosed parking areas may be grouped into a single structure. Individual garage doors shall be one car width.
 - (vi) Unless a higher classification of road is required by the City Engineer to provide for consistency with the Wenatchee Urban Area Plan, Internal access and circulation shall meet the requirements of, Fire Apparatus Access Road, of the most current addition of the International Fire Code, as amended. Where a standard residential subdivision or binding site plan is proposed associated with these developments, the standards provided in, Section 11.20.020 Streets, WCC shall also apply.
- (l) Where parking areas are clustered in shared arrangements, such parking areas and access lanes are subject to citywide fire-safety and emergency access standards.
- (m) Landscaping. Manufactured Home Communities shall adhere to the landscape and screening chapter, Chapter 10.62 WCC. See also Residential Development Guidelines section D.1.
- (n) Covenants enforced by a homeowner's association shall be required to include the perpetual maintenance of all common areas and open spaces and preclude the conversion to another use. (Ord. 2011- 49 § 4 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

WENATCHEE GENERAL DEVELOPMENT REGULATIONS: UPDATED CHAPTER 10.48

Draft August 16, 2019

NOTES:

- Only those sections/subsections with proposed changes are shown. Edits to existing language are tracked.
- Where existing code section numbers have been updated, applicable cross-references will be updated as necessary.

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10.48.010 Purpose.
NO PROPOSED CHANGES

10.48.020 Access.

The following regulations shall apply to all zoning districts and overlays:

- (1) Every lot shall be provided with and maintain satisfactory access by a public or private street or access easement. The city determines whether access will be by right-of-way, vehicular easement or tract on a case by case basis consistent with the provisions of city code and the comprehensive plan. Lots of record which have no recognized public or private street frontage shall demonstrate legal access prior to the issuance of any development permits for said lot. Provisions for new lots served by private lanes or shared driveways are set forth in WCC 11.20.020 except as modified by Title 10 as applicable.
- (2) Egress and ingress points along all locally classified principal arterials, minor arterials, and collectors shall:
 - (a) Be no closer than 100 feet from another access within the same development project.
 - (b) When feasible, be no closer than 150 feet from a minor arterial intersection or 250 feet from a principal arterial intersection.
- (3) Driveway widths at the curb cut shall be 24 to 30 feet for non-single-family residential development and a maximum of 14 to 24 feet for ~~single family and duplex~~ residential development unless otherwise noted for specific housing types in Chapter 10.47, WCC.
- (4) On a corner lot, access shall be from the lower classified street as depicted in the circulation map of the Wenatchee urban area comprehensive plan. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.48.030 Accessory structures.

NO PROPOSED CHANGES EXCEPT:

- (5) No accessory structure shall occupy any part of a required ~~front yard~~ street setback area, except as otherwise allowed.
- (9) Detached accessory dwelling units shall meet rear and side ~~yard~~ accessory structure setback requirements and shall be set back equal to or further than the primary dwelling from the front property line.

~~10.48.040 Accessory dwelling units (ADU).~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.030

~~10.48.050 Residential structures.~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.020

~~10.48.060 Cottage housing.~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.080

~~10.48.070 Duplexes.~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.090

~~10.48.080 Multifamily development (three or more attached or detached dwelling units).~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.130

10.48.0490 Pedestrian connections.

NO PROPOSED CHANGES

10.48.05190 Bed and breakfasts.

NO PROPOSED CHANGES

10.48.11060 Farm animals.

NO PROPOSED CHANGES EXCEPT:

- (7) "Pasture" is defined as that area which is enclosed within a perimeter fence, and shall not include that

portion of the property used for the residential structure(s) and required ~~front yard building~~street setbacks. Pasture areas shall be maintained with a permanent uniform top cover of vegetation.

10.48.~~12070~~ Bus amenities.

NO PROPOSED CHANGES

10.48.~~13080~~ Family day care.

NO PROPOSED CHANGES EXCEPT:

(2) One unlighted sign shall be permitted, not exceeding 12 square feet in copy area, meeting the height standards for residential fences when placed in the ~~front yard~~street setback. See WCC 10.48.180;

10.48.~~14090~~ Mailing-address-only home occupation.

NO PROPOSED CHANGES

10.48.~~10045~~ Home occupation.

NO PROPOSED CHANGES

10.48.~~11050~~ Slope protection.

NO PROPOSED CHANGES EXCEPT:

(2) Retaining Walls. The use, design, and construction of all retaining walls that are subject to a building permit shall meet these standards. Exposed cut slopes, such as those for streets, driveway accesses, or ~~yard setback~~ areas, greater than seven feet in height shall be terraced. Cut faces on a terraced section shall not exceed a maximum height of five feet. Terrace widths shall be a minimum of three feet to allow for the introduction of vegetation for erosion control.

10.48.~~12060~~ Vehicle parking.

NO PROPOSED CHANGES EXCEPT:

All single-family and single duplexes, where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code. For purposes of this section, recreational vehicles shall include, but not be limited to, motor homes, travel trailers, snowmobiles, motorcycles, jet skis and similar equipment. Agricultural equipment associated with a legal agricultural use on the site is exempt from the below restrictions.

Not more than a total of five cars, trucks, recreational vehicles, and trailers (per dwelling unit) may be parked outside of a single-family dwelling or duplex on any lot in a residential zone. Said vehicles shall be parked to the rear of the ~~front yard~~street setback line, except when stored in designated driveways. Driveways shall include a paved or graveled area accessible by curb cut, or on lots where no curb or curb cut or paving/gravel is installed, the driveway shall be considered a designated area equivalent to two parking spaces. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.48.~~13080~~ Fences and clear view triangle.

NO PROPOSED CHANGES EXCEPT:

(1) Residential and mixed use zoning district fences in a required ~~yard setback~~ shall not exceed the following standards:

- (a) ~~Front yard~~Street setback: ~~four-three~~ feet, six inches for a solid fence. Or ~~six-four~~ feet when the fence material is less than 50 percent view-obstructing, such as chain-link, lattice space picket or rail fences.
- (b) Side ~~setback yard~~: six feet.
- (c) Rear ~~setback yard~~: six feet.

(2) Commercial zoning district fences shall meet the following standards:

- (a) Solid fencing or walls greater than four feet in height within 20 feet of street frontages or rights-of-way shall not extend more than one-third of the lineal distance of the property frontage, including corner lots;
- (b) Fencing less than 50 percent view-obstructing is allowed up to a maximum height of eight feet, within 20 feet of a front property line or rights-of-way; provided, that for every 25 linear feet of fence or wall, architectural features, such as masonry or brick columns, shall be provided. The

minimum width and depth of architectural features shall be no less than 12 inches for the full height;

- (c) Solid fencing or wall sections more than 20 feet from a front property line shall be allowed up to a maximum height of eight feet; provided, that for every 50 linear feet of fence or wall, architectural features, such as masonry or brick columns, shall be provided. The minimum width and depth of architectural features shall be no less than 12 inches for the full height;
- (d) Side and rear ~~yard setback~~ fencing is exempt from providing architectural features and is allowed up to a maximum height of eight feet, except when abutting a residential or mixed use zone, in which case the maximum height shall be six feet;
- (e) The use of high intensity, primary, metallic, or fluorescent colors is prohibited on any fence surface. Colors should be neutral and similar to the exterior of the primary structure;
- (f) Chain link fencing and barbed or razor wire or similar features shall not be permitted on the front of properties within 20 feet of a public street.
- (g) Developments featuring residential uses on the ground level along street frontages are subject to the fence standards for residential and mixed-use zones in subsection (1) above.

10.48.14090 Swimming pools.

NO PROPOSED CHANGES EXCEPT:

- (1) Above-ground pools must be located outside of required ~~front yard~~~~street~~ setbacks and be set back at least five feet from rear and side property lines, unless otherwise required;
- (2) In-ground pools must be located outside of the required ~~front yard~~~~street~~ setback and observe a five-foot setback from rear and side property lines, unless otherwise required. All in-ground pools shall be completely enclosed by a fence of not less than five feet in height;

10.48.150200 Travel trailers/motor, mobile and manufactured homes.

Travel trailers, motor homes, mobile homes, and manufactured homes are prohibited as places of habitation when located outside of approved mobile/manufactured home parks ~~or planned developments~~ having specific authorization for such use, unless developed legally as an existing nonconforming use. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.48.160210 Adult entertainment businesses.

NO PROPOSED CHANGES

10.48.170215 Adult oriented retail.

NO PROPOSED CHANGES

10.48.180220 Outdoor mobile vendors.

NO PROPOSED CHANGES

10.48.190230 Wireless communication facilities.

NO PROPOSED CHANGES

10.48.20040 Refuse storage.

NO PROPOSED CHANGES EXCEPT:

- (2) Shall not be located in any required ~~front yard~~~~street setback~~ area.

10.48.21050 Historic building floating zone.

NO PROPOSED CHANGES

10.48.22060 Outdoor displays.

NO PROPOSED CHANGES

10.48.23070 Electric vehicle infrastructure.

NO PROPOSED CHANGES

10.48.24080 Child day care center – Accessory use.

NO PROPOSED CHANGES

10.48.25090 Medical cannabis.

NO PROPOSED CHANGES

10.48.260300 Artisanal industrial/manufacturing.

NO PROPOSED CHANGES

10.48.270 Architectural Design standards for non-residential buildings

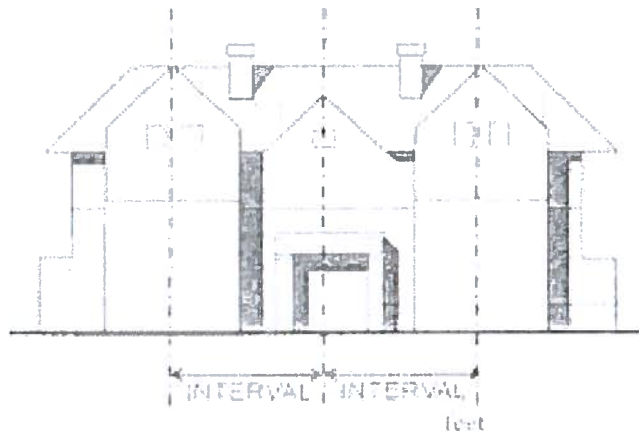
The following standards apply to non-residential structures when another section of code, such as the zoning district/overlay or conditional use permit criteria, requires that the structure meet the standards in this section. Proposed non-residential structures located in WMU or CBD, for which this section is cited as being required based on the nature of the use, shall be designed to comply with the architectural or design standards applicable to structures in those zoning districts and any applicable overlays.

Proposed non-residential structures for which this section applies, shall be designed to comply with the standards listed below. The intent is to reduce the scale of structures and to incorporate architectural design features to increase visual interest. Articulation and modulation shall be for the full height and width of a building, except as otherwise allowed within this title.

- (1) Building Articulation. New building facades visible from public and/or private streets and adjacent properties shall be articulated with windows, balconies, bay windows, or other architectural elements. The building articulation interval shall not exceed 50ft.

Figure 10.48.270

Building articulation demonstration.



(2) Horizontal Building Modulation.

- (a) The maximum facade width (as measured horizontally along the building exterior) without building modulation shall be as follows:
 - (i) A building facade set back 60 or more feet from an adjacent property line shall be designed so the width of modulation interval shall match approximately the width captured within a 45° field of vision which can be calculated with the following formula: $0.8 \times (\text{Setback from property line}) = \text{maximum facade width without building modulation}$. The center of the 45° field of vision shall be perpendicular to the property line at the point along the property line closest to the structure. If the proposed structure is not parallel to the adjacent property line, the mean distance between the closest and farthest point along the applicable facade shall be used in determining the distance from the property line for the purposes of this standard.
 - (ii) A building facade set back between 15 and 60 ft from an adjacent property line, the design should feature the following:
 - Building facade modulation at 50' intervals or less.

- Landscaping featuring trees greater than 30' at maturity, understory shrubs, and lawn or groundcover).
- A prominent building entry with pedestrian covering and other enhancements.
- (iii) Buildings within 15' of a public right-of-way shall include façade modulation at intervals no more than 30' and should feature at least two of the following:
 - Highly decorative landscaping
 - Transparent windows along 80% of the first floor of the frontage
 - Enhanced entries
 - Pedestrian weather protection.
 - Decorative materials or special craftsmanship.
- (iv) Buildings within 15' of a side or rear property line should feature façade articulation or modulation at intervals no more than 30'.
- (b) When building modulation is utilized the minimum width of modulation shall be eight feet and the minimum depth shall be 10 feet. Roof decks or balconies may be used as all or part of the building modulation so long as each individual roof deck or balcony has an area of at least 50 square feet.
- (3) Building Design – Roof Forms. Modulate the roof line of all facades visible from a public right-of-way, parking area or park according to one or more of the following:
 - (a) Roof line modulation of flat roofs with horizontal eave, fascia, or parapet. The width of continuous flat roof line shall extend no more than 50 feet without modulation. Modulation shall consist of either:
 - (i) A change in elevation of the visible roof line of at least eight feet if the particular roof segment is less than 50 feet wide and at least 12 feet if the particular roof segment is greater than 50 feet in length.
 - (ii) A sloped or gabled roof line segment of at least 20 feet in width and no less than three feet vertical in 12 feet horizontal.
 - (iii) A combination of the two options described above.
 - (b) Coordinate modulation of roof lines on multi-tenant buildings to emphasize key building entries and/or change in building tenants or uses.
- (4) Alternatives. Subject to approval by the director, the applicant may depart from the above standards; provided, that they demonstrate that the proposed design meets the intent of the standards.

WENATCHEE LANDSCAPING STANDARDS:
UPDATED CHAPTER 10.62
Draft August 16, 2019

NOTE: The provisions herein include material that has been moved from Chapter 10.48 (changes of which are tracked) and new material (see sections below with "NEW" in parentheses after title).

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Chapter 10.62 LANDSCAPING

10.62.020 Applicability.

- (1) This chapter shall apply to all permitted, accessory, and conditional uses, except as provided for in subsection (2) of this section. Specifically, this chapter shall apply to:
 - (a) All new development in commercial, mixed use, industrial and overlay zoning districts;
 - (b) Residential development in any zoning classification, with the exception of building permit applications for single family homes;
 - ~~(b)~~(c) All nonresidential development in any residential zoning classification;
 - ~~(d)~~ All new residential subdivisions ~~and~~
 - ~~(e)~~(e) Short subdivisions with double-frontage or through lots;
 - ~~(f)~~(f) All new planned developments subject to the requirements of the approved planned development;
 - ~~(e)~~(g) Any remodels in any two-year period meeting the criteria in subsections (1)(a) through ~~(f)~~ of this section and representing greater than 50 percent of the assessed building valuation, as determined using the most recent Chelan County assessor's record at the time of the building permit application, or remodels adding 20 percent or more of gross floor area. Costs of construction shall be determined using the most recent ICC valuation and construction tables; and
 - ~~(f)~~(h) All parking lots or new outdoor automobile sales areas totaling six or more vehicles.

10.62.070 Commercial and industrial zones.

- (1) Intent. The intent of landscaping within the North and South Wenatchee business districts (NWBD and SWBD) and industrial (I) zones is to enhance the aesthetic and environmental quality of these zones within the city; to minimize the impact of lighting, noise and views of surface parking areas; to break up large building facades; to provide a transition between buildings and parking or transportation corridors; and to provide a buffer when adjoining residential zoning districts, public parks and schools.
- (2) Street Frontage Landscaping. New developments in the NWBD, SWBD and I zones shall include at least one of the following measures (a) through (d), as approved by the Director.

- (a) A continuous six-foot-wide (average) area of landscaping along the street right-of-way shall be required.

The length of landscaping areas shall be the entire frontage of property along the street right-of-way, except driveway entrances and building entrances. In no event, however, shall the length of the landscaping area be less than 50 percent of the length of the property line along the street right-of-way. In those circumstances where access, building location, utilities, or other factors restrict the ability to meet the minimum 50 percent standard, the applicant shall provide for an adjustment of landscaping as detailed in WCC 10.62.050.

~~(e)~~ The landscaping area shall consist of deciduous, or deciduous and evergreen, trees, ground cover, and shrubs as follows:

- (i) Trees spaced no more than 40 feet on center:
 - (A) At least 70 percent of the trees shall be deciduous.
 - (B) Trees shall not be located closer than three feet to the curb of the public right-of-way or parking lot.
 - (ii) Shrubs not exceeding a height of four feet spaced no more than an average of at least one for each 50 square feet of required planting area.
 - (iii) Ground cover pursuant to the general landscape material requirements set forth in WCC 10.62.060(4).
 - (iv) In no case shall sight-obscurating landscaping, greater than 36 inches in height, except trees limbed up to five feet in height, be located within 15 feet of a noncontrolled intersection (a nonlighted intersection or lighted intersection not controlling traffic in all directions).

(b) A "pedestrian oriented facade" as described in the Residential Design Guidelines Section E.4.1. This option applies to developments featuring non-residential uses on the ground floor.

(c) Ground related units complying with the provisions of the Residential Design Guidelines C.1.1. This option only applies if ground related units directly face the street.

- (3) **Street Trees.** New developments within the North and South Wenatchee business districts (NWBD and SWBD) and Industrial (I) zones shall include installation of street trees in accordance with City standards as administered by the City Engineer. The City Engineer may waive this requirement where such plantings are inappropriate, such as if the sidewalk is too narrow for street trees. If street trees are not required, the building shall be set back from the sidewalk to allow for landscaping per subsection (2)(a) above.

10.62.090 Neighborhood commercial, office and residential mixed use zones.

(2) **Street Frontage Landscaping.** New developments in the CN, RMU and OMU shall include at least one of the following measures (a) through (d), as approved by the Director.

(a) A continuous six-foot-wide (average) area of landscaping along the street right-of-way shall be required.

~~(b)~~ The length of landscaping shall be the entire frontage of property along the street right-of-way, except driveway entrances and building entrances. In no event, however, shall the length of the landscaping area be less than 50 percent of the length of the property line along the street right-of-way. In those circumstances where access, building location, utilities, or other factors restrict the ability to meet the minimum 50 percent standard, the applicant shall provide for an adjustment of landscaping as detailed in WCC 10.62.050.

~~(c)~~ The landscaping area shall consist of deciduous, or deciduous and evergreen, trees, ground cover, and shrubs as follows:

(i) Trees spaced no more than 40 feet on center:

(A) At least 70 percent of the trees shall be deciduous;

(B) Trees shall not be located closer than three feet to the curb of the public right-of-way or parking lot.

(ii) Shrubs not exceeding a height of four feet spaced an average of at least one for each 50 square feet of required planting area.

(iii) In no case shall sight-obscurating landscaping (greater than 36 inches in height, except trees limbed up to five feet in height) be located within 15 feet of a noncontrolled intersection (a nonlighted intersection or lighted intersection not controlling traffic in all directions).

(b) A "pedestrian oriented facade" as described in the Residential Design Guidelines Section E.4.1. This option applies to developments featuring non-residential uses on the ground floor.

(c) Ground related units complying with the provisions of the Residential Design Guidelines C.1.1. This option only applies if ground related units directly face the street.

(6) Street Trees. New developments within the NC, RMU and OMU zones shall include installation of street trees in accordance with City standards as administered by the City Engineer. The City Engineer may waive this requirement where such plantings are inappropriate, such as if the sidewalk is too narrow for street trees. If street trees are not required, the building shall be set back from the sidewalk to allow for landscaping per subsection (2)(a) above.

10.62.100 Residential zones and WMU recreational/residential overlay.

(2) **Street Frontage Landscaping.** New developments in the RS, RL RM RH, and RRO shall include at least one of the following measures (a) through (c), as approved by the Director.

(b) A 10-foot-wide (average) area of landscaping within the front yard shall be required for multifamily and nonresidential development.

~~(b)~~ The length of landscaping shall be the entire frontage of property along the street right-of-way, except driveway entrances and building entrances. In no event, however, shall the length of the landscaping area be less than 50 percent of the length of the property line along the street right-of-way. In those circumstances where access, building location, utilities, or other factors restrict the

ability to meet the minimum 50 percent standard, the applicant shall provide for an adjustment of landscaping as detailed in WCC 10.62.050.

(e) The landscaping areas shall consist of deciduous, or a combination of deciduous and evergreen, trees.

- (i) At least 70 percent of the trees shall be deciduous.
- (ii) Trees shall be spaced no more than 40 feet on center.
- (iii) Trees shall not be located closer than three feet to the curb of the public right-of-way or parking lot.

Ground cover pursuant to the general landscape material requirement set forth in WCC 10.62.060(4) shall be provided; however, grass can be used as 100 percent ground cover.

For double-frontage or through lots created by subdivision or short subdivision, landscaping shall be required as follows:

- (iv) A six-foot-wide (average) area of landscaping shall be installed along the street frontage not providing direct access to the lot; the front of the lot providing access is exempt from the requirements of this subsection.
- (v) The landscaping area shall consist of a mix of ground cover and shrubs. Deciduous trees are encouraged but not required.
 - (A) Shrubs shall be spaced no more than an average of one for each 50 square feet of required planting area.
 - (B) Ground cover shall be pursuant to the general landscape material requirements set forth in WCC 10.62.060(4).

(c) A "pedestrian oriented façade" as described in the Residential Design Guidelines Section E.4.1. This option applies to developments featuring non-residential uses on the ground floor.

(d) Ground related units complying with the provisions of the Residential Design Guidelines C.1.1. This option only applies to the RH and RRO zones where ground related units directly face the street.

(3) Perimeter Landscape Screening.

(d) The perimeter screening shall generally consist of a mix of evergreen plantings, deciduous trees, shrubs, ground cover and may include fencing, and/or Development of single-family homes may construct a fence in lieu of perimeter landscaping. fencing.

(6) Street Trees. New townhouse, courtyard housing, and multifamily housing developments (see WCC 10.10.020) shall include installation of street trees in accordance with City standards as administered by the City Engineer. The City Engineer may waive this requirement where such plantings are inappropriate, such as if the sidewalk is too narrow for street trees. If street trees are not required, the building shall be set back up to 12 feet from the curb to allow for landscaping per section (2)(a) above.


WENATCHEE MISCELANEOUS TITLE 10 CODE CHANGES (ASSOCIATED WITH THIS RESIDENTIAL CODE UPDATE)







Draft August 16, 2019

NOTES:

- Only those sections/subsections with proposed changes are shown. Edits to existing language are tracked.

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Chapter 10.11 RESIDENTIAL FOOTHILLS LOW (RF) DISTRICT

10.11.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~following:~~ provisions below. Also, all housing types except some single family residential uses are subject to conformance with applicable sections of the Residential Design Guidelines.

- (2) Uses permitted in the RF zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

Chapter 10.12 RESIDENTIAL SINGLE-FAMILY (RS) DISTRICT

10.12.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~following:~~ provisions below. Also, all housing types except some single family residential uses are subject to conformance with applicable sections of the Residential Design Guidelines.

- (2) Uses permitted in the RS zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

Chapter 10.14 RESIDENTIAL LOW (RL) DISTRICT

10.14.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~following:~~ provisions below. Also, all housing types except some single family residential uses are subject to conformance with applicable sections of the Residential Design Guidelines.

- (2) Uses permitted in the RL zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

Chapter 10.16 RESIDENTIAL MODERATE (RM) DISTRICT

10.16.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~following:~~ provisions below. Also, all housing types except some single family residential uses are subject to conformance with applicable sections of the Residential Design Guidelines.

- (2) Uses permitted in the RM zoning district shall meet applicable ~~general and residential~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

- (3) Off-street parking shall be provided pursuant to Chapter 10.60 WCC.

- ~~(4) In accordance with duplex standards detailed in WCC 10.48.070, the minimum lot size is 10,000 square feet for one duplex.~~

Chapter 10.18 RESIDENTIAL HIGH (RH) DISTRICT

10.18.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~following:~~ provisions below. Also, all housing types except some single family residential uses are subject to conformance with applicable sections of the Residential Design Guidelines.

- (2) Uses permitted in the RH zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

Chapter 10.20 MIXED USE (RMU) DISTRICT

10.20.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~following:~~ provisions below. Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.

(2) Uses permitted in the RMU zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

~~(8) Multifamily development standards, as detailed in the general regulations in WCC 10.48.080, apply to all buildings except for single family and duplex residences, and redevelopment that does not increase the gross floor area equal to, or more than, 20 percent.~~

Chapter 10.22 NEIGHBORHOOD COMMERCIAL (CN) DISTRICT

10.22.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the ~~provisions below~~following. ~~Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.~~

(2) Uses permitted in the NC zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

Chapter 10.24 CENTRAL BUSINESS DISTRICT (CBD)

10.24.050 Development standards.

Development in this district shall meet all of the applicable provisions of this title and all other rules, regulations and provisions of the WCC, and shall comply with the ~~provisions below~~following. ~~Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.~~

(5) All applicable provisions of Chapters 10.47 and 10.48 WCC,~~General Regulations,~~ shall apply to development in this district.

Chapter 10.26 NORTH WENATCHEE BUSINESS DISTRICT (NWBD)

10.26.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, and including the ~~provisions below~~following. ~~Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.~~

(2) All applicable provisions of Chapters 10.47 and 10.48 WCC,~~General Regulations,~~ shall apply to development in this district.

~~(10) Blank Wall Limitation. The intent is to reduce blank wall impacts on the pedestrian and business district environment. Provide varied, pedestrian-friendly building facades and sidewalk activities. Avoid the creation of blank walls and dull facades that deaden the surrounding space and create an uninviting street environment.~~

~~(a) Development Standards. Untreated blank walls, including retaining walls, are not allowed adjacent to or within 50 feet of a public street right-of-way or a public park. At least 30 percent of the wall area between two feet and 10 feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics:~~

~~(i) Transparent Windows. Transparent window area or display windows which provide visibility into building interiors. The following transparency standards apply:~~

~~(A) Glass must be clear or lightly tinted in windows, doors, and displays. Because it does not provide visibility between the street and building interiors, reflective, opaque, or painted glass is excluded.~~

~~(B) Doors and entry windows must be transparent to meet this requirement. If they are not, they shall be considered blank walls.~~

~~(ii) Art or Architectural Treatment. Sculpture, mosaic, glass block, opaque art glass as relief artwork, or similar features of visual interest. Structural architectural elements may be acceptable as an administrative waiver if the design meets the intent of this section.~~

~~(iii) Vertical Trellis. A permanent vertical trellis in front of the wall with climbing plants or plant materials.~~

~~(iv) Pedestrian Plazas. Pedestrian plazas may meet this requirement if the design complies with~~

pedestrian-oriented space standards as detailed in WCC 10.40.030(2).

Chapter 10.28 SOUTH WENATCHEE BUSINESS DISTRICT (SWBD)

10.28.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, and including the provisions below. Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines, following:

(2) All applicable provisions of Chapters 10.47 and 10.48 WCC, ~~General Regulations~~, shall apply to development in this district.

(9) Blank Wall Limitation. The intent is to reduce blank wall impacts on the pedestrian and business district environment. Provide varied, pedestrian-friendly building facades and sidewalk activities. Avoid the creation of blank walls and dull facades that deaden the surrounding space and create an uninviting street environment.

(a) Development Standards. Blank walls, including retaining walls, are not allowed adjacent to or within 50 feet of a public street right-of-way or a public park. At least 30 percent of the wall area between two feet and 10 feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics:

(i) (Transparent Windows. Transparent window area or display windows which provide visibility into building interiors. The following transparency standards apply:

(A) Glass must be clear or lightly tinted in windows, doors, and displays. Because it does not provide visibility between the street and building interiors, reflective, opaque, or painted glass is excluded.

(B) Doors and entry windows must be transparent to meet this requirement. If they are not, they shall be considered blank walls.

(ii) (Art or Architectural Treatment. Sculpture, mosaic, glass block, opaque art glass as relief artwork, or similar features of visual interest. Structural architectural elements may be acceptable as an administrative waiver if the design meets the intent of this section.

(iii) Vertical Trellis. A permanent vertical trellis in front of the wall with climbing plants or plant materials.

(iv) Pedestrian Plazas. Pedestrian plazas may meet this requirement if the design complies with pedestrian-oriented space standards as detailed in WCC 10.40.030(2).

Chapter 10.32 WATERFRONT MIXED USE (WMU) DISTRICT

10.32.050 Development standards.

Development in this district shall meet all of the applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the provisions below. Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines, following:

- (3) Uses permitted in the WMU zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

Chapter 10.34 OFFICE MIXED USE (OMU) DISTRICT

10.34.050 Development standards.

Development in this district shall meet all of the applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the provisions below. Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines, following:

- (2) Uses permitted in the OMU zoning district shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC.

(8) Architectural Scale.

- (b) All multifamily developments shall meet the multifamily development standards listed in WCC 10.47.120-10.48.080.

Chapter 10.40 OVERLAY DISTRICTS AND STANDARDS

10.40.010 Development standards.

- (3) Uses permitted in each overlay shall meet applicable ~~general~~ regulations as detailed in Chapters 10.47 and 10.48 WCC or as modified below.

10.40.070 Mixed residential corridor (MRC).

- (3) All development shall comply with applicable standards in Chapter 10.46 WCC, Development Standards Charts, Chapter 10.47 WCC, Residential Use Standards, Chapter 10.48 WCC, General Regulations, Chapter 10.50 WCC, Signs, Chapter 10.60 WCC, Off-Street Parking, and Chapter 10.62 WCC, Landscaping and Screening. Also, most residential developments, including mixed-use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.

~~Chapter 10.42 PLANNED DEVELOPMENTS~~

~~10.42.060 — Criteria and requirements.~~

- ~~(3) Zoning Requirements. A planned development shall be exempt from the minimum requirements of this title except as provided for below:~~

- ~~(a) Project Densities. Densities that are shown below serve as the base density for calculating potential bonus density. Unless an RPD meets the criteria listed for a density bonus, all PDs shall adhere to the underlying densities as listed below:~~

~~(i) RS: four units per acre;~~

~~(ii) RL: six units per acre;~~

~~(iii) — RM: 12 units per acre;~~

~~(iv) — RH, OMU, RMU: 25 units per acre;~~

~~(v) MRC overlay: refer to underlying zoning district.~~

- ~~(b) Minimum Lot Size. The minimum lot size within a PD may be modified from the standards of the underlying zoning district. Lots located within the interior of the PD may be reduced by no more than 35 percent of the normal minimum lot size requirement of the zoning district. Lots located on the exterior perimeter boundary or along an exterior street of the PD may be reduced by no more than 10 percent of the normal minimum lot size requirement of the zoning district.~~

- ~~(c) Setbacks. Setbacks from the exterior boundaries of the planned development shall be comparable to or compatible with those of existing development of adjacent properties, or if adjacent properties are undeveloped, the type of development which may reasonably be expected on such properties given the existing zoning of such properties or the projections of the comprehensive plan. Minimum setback requirements for the underlying zone shall be used as a guide.~~
- ~~(d) Height. Additional height may be added at a standard not to exceed 14 feet per story, provided mitigation measures are proposed that would protect the interests of uses on adjoining properties and/or future potential uses.~~
- ~~(e) Uses Permitted. The principal uses of the development shall be limited to those general uses allowed in the underlying zoning district; for instance, in residential zones residential and accessory uses are permitted. Uses that are accessory to those other land uses permitted within the development may be permitted if such uses can be employed without being detrimental to other land uses within the development, neighboring the development, or to the vicinity as a whole.~~
- ~~(f) Off Street Parking and Loading Requirements. Off street parking and loading facilities shall be provided in a manner and quantity as specified by the underlying zoning district, or as otherwise specified through the application review process.~~
- ~~(f) Development shall meet or exceed the standards of Chapter 10.48 WCC, General Regulations, as applicable to the proposal.~~
- ~~(f) The standards of Chapter 10.62 WCC, Landscaping and Screening, shall be used as a guide for minimum street frontage, perimeter and interior landscape improvements within a planned development.~~
- ~~(f) Articulation, modulation, and blank wall standards of the underlying zone shall be adhered to.~~

Chapter 10.42 PLANNED DEVELOPMENTS

10.42.030 Where permitted – Permitted uses.

Planned developments, when approved in accordance with all applicable provisions of the WCC and this chapter, are established as a development permit and, as such, do not reclassify the existing zoning district designation.

(1) An RPD ~~may be~~ is permitted within the following zoning districts located within the Wenatchee urban growth area, provided it is consistent with the comprehensive plan: OMU, RMU, RS, RL, RM, RH and MRC ~~overlay~~ where approved prior to [insert date of ordinance]. All proposals to amend a previously approved RPD shall be processed as a Type III permit per Title 13 WCC and in accordance with the applicable performance and development standards Titles 10, 11 and 12 of the WCC.

Chapter 10.60 OFF-STREET PARKING

10.60.030 General requirements.

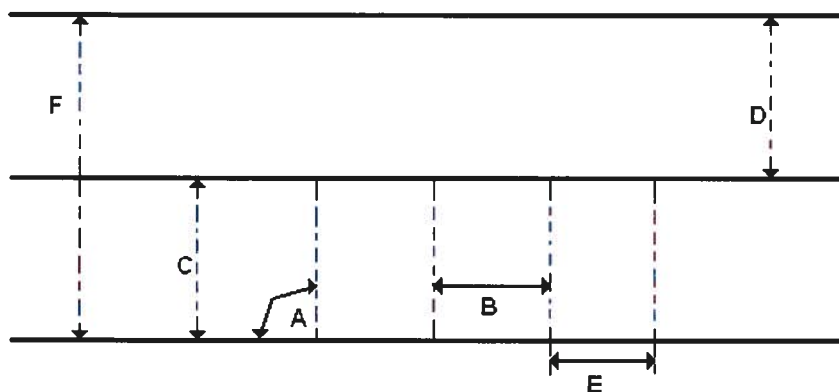
(1) Off-street parking shall be provided in the amount prescribed in this chapter, together with passageways sufficient for its reasonable use as detailed in the parking space and aisle dimensions charts below for surface parking and for structured parking, when constructed as part of a multifamily or commercial buildings or parking that is constructed as two or more levels as an independent structure/parking garage.

Parking Space and Aisle Dimensions for Surface Parking

A	B	C	D	E	F
Parking Angle	Stall Width	Row Width	Aisle Width	Curb Length	Bay Width
Parallel compact car	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	12 <u>ft.</u> 0 <u>in.</u>	23 <u>ft.</u> 0 <u>in.</u>	20 <u>ft.</u> 0 <u>in.</u>
30 compact car	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	16 <u>ft.</u> 0 <u>in.</u> 17 <u>ft.</u> 6 <u>in.</u>	11 <u>ft.</u> 0 <u>in.</u> 10 <u>ft.</u> 0 <u>in.</u>	18 <u>ft.</u> 0 <u>in.</u> 17 <u>ft.</u> 0 <u>in.</u>	27 <u>ft.</u> 6 <u>in.</u> 27 <u>ft.</u> 0 <u>in.</u>
45 compact car	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	19 <u>ft.</u> 0 <u>in.</u> 18 <u>ft.</u> 4 <u>in.</u>	13 <u>ft.</u> 0 <u>in.</u> 13 <u>ft.</u> 6 <u>in.</u>	12 <u>ft.</u> 6 <u>in.</u> 11 <u>ft.</u> 3 <u>in.</u>	32 <u>ft.</u> 0 <u>in.</u> 30 <u>ft.</u> 4 <u>in.</u>
60 compact car	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	20 <u>ft.</u> 6 <u>in.</u> 19 <u>ft.</u> 6 <u>in.</u>	18 <u>ft.</u> 0 <u>in.</u> 18 <u>ft.</u> 6 <u>in.</u>	10 <u>ft.</u> 6 <u>in.</u> 9 <u>ft.</u> 2 <u>in.</u>	38 <u>ft.</u> 6 <u>in.</u> 38 <u>ft.</u> 6 <u>in.</u>
90 compact car	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	18 <u>ft.</u> 0 <u>in.</u> 16 <u>ft.</u> 0 <u>in.</u>	25 <u>ft.</u> 0 <u>in.</u> 25 <u>ft.</u> 0 <u>in.</u>	9 <u>ft.</u> 0 <u>in.</u> 8 <u>ft.</u> 0 <u>in.</u>	43 <u>ft.</u> 0 <u>in.</u> 43 <u>ft.</u> 0 <u>in.</u>
(Note: Dimensions are in feet and inches)					

Parking Space and Aisle Dimensions for Structured Parking

<u>A</u>	<u>B</u>	<u>C</u>	<u>D</u>	<u>E</u>	<u>F</u>
<u>Parking Angle</u>	<u>Stall Width</u>	<u>Row Width</u>	<u>Aisle Width</u>	<u>Curb Length</u>	<u>Bay Width</u>
<u>Parallel</u> <u>compact car</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>12 ft 0 in.</u>	<u>23 ft. 0 in.</u>	<u>20 ft. in.</u>
<u>30</u> <u>compact car</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>17 ft 0 in.</u> <u>16 ft. 6 in.</u>	<u>11 ft 0 in.</u>	<u>18 ft. 0 in.</u> <u>17 ft. 0 in.</u>	<u>28 ft. 0 in.</u> <u>27 ft. 6 in.</u>
<u>45</u> <u>compact car</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>19 ft. 0 in.</u> <u>18 ft. 4 in.</u>	<u>11 ft 6 in.</u>	<u>12 ft. 6 in.</u> <u>11 ft. 3 in.</u>	<u>30 ft. 6 in.</u> <u>29 ft. 10 in.</u>
<u>60</u> <u>compact car</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>20 ft. 6 in.</u> <u>19 ft. 6 in.</u>	<u>13 ft. 6 in.</u>	<u>10 ft. 6 in.</u> <u>9 ft. 2 in.</u>	<u>34 ft. 0 in.</u> <u>33 ft. 0 in.</u>
<u>90</u> <u>compact car</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>18 ft. 0 in.</u> <u>16 ft. 0 in.</u>	<u>23 ft. 0 in.</u> <u>22 ft. 0 in.</u>	<u>9 ft. 0 in.</u> <u>8 ft. 0 in.</u>	<u>41 ft. 0 in.</u> <u>38 ft. 0 in.</u>



- (4) Parking facilities of nonresidential commercial, industrial, and multifamily uses may have up to 40 percent of the stalls reduced in size to accommodate compact cars for surface parking lots and up to 50 percent for structured parking; provided:
- (a) Compact car spaces shall be located so as not to be significantly more convenient to use than the standard size spaces; and
 - (b) Each compact car space or grouping of spaces shall be conspicuously identified as being suited for compact cars only.
 - ~~(b)~~(c) Grouping or clustering of compacts stalls is encouraged to minimize surface lot and structure sizes.

10.60.080 Off-street parking requirements. SHARE

The following requirements shall be met in all zoning districts, except when specifically regulated elsewhere in this code:

Off-Street Parking Requirements

Land Use	Standards
Residential	
Accessory dwelling unit	1 space Refer to WCC 10.47.030(2)(d)
Infill cottage housing (2 to 3 units)	1 space per bedroom, but not more than 2 spaces per dwelling unit; Refer to WCC 10.47.060(2)(h)
Cottage housing (4+)	1 space per bedroom, but not more than 2 spaces per dwelling unit; Refer to WCC 10.47.070(2)(i)
Courtyard housing	1 space per bedroom, but not more than 2 spaces per dwelling unit; Refer to WCC 10.47.090(2)(i)
Duplex	1 space per bedroom, but not more than 2 spaces per dwelling unit; Refer to WCC 10.47.080(2)(a) 2 spaces per dwelling unit
Multifamily dwelling; Townhouses1— 13+ dwellings	1.5 spaces per bedroom, but not more than 2 spaces per dwelling unit
Live-Work dwellings	Refer to WCC 10.47.110(2)(e)

Chapter 10.65 CONDITIONAL USES

10.65.080 Auditoriums/places of public assembly, and places of worship. SHARE

(5) Architectural Scale. New nonresidential buildings in the RF, RS, RL, RM, and RH zoning districts shall meet WCC 10.48.~~270080(4)~~. Deviations to these standards may be considered where the applicant can demonstrate that the change or deviation in design is either necessary due to the inherent function of the facility, and/or the change provides for equal or greater compatibility with the character of the surrounding neighborhood. Consideration of such a deviation shall include an informal design review workshop recommendation of the planning commission, where input from the surrounding neighborhood shall be solicited, and incorporated in staff analysis before the hearing examiner. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.65.110 Child day care center. SHARE

(6) Architectural Scale. New child day care center buildings in the RS, RL, RM, and RH zoning districts shall meet WCC ~~10.48.080(4)~~10.48.270. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.65.170 Institution of higher education. SHARE

(6) Architectural Scale. New nonresidential buildings in the RS, RL, RM, and RH zoning districts shall meet WCC 10.48.~~270080(4)~~. Deviations to these standards may be considered where the applicant can demonstrate that the change or deviation in design is either necessary due to the inherent function of the facility, and/or the change provides for equal or greater compatibility with the character of the surrounding neighborhood. Consideration of such a deviation shall include an informal design review workshop recommendation of the planning commission, where input from the surrounding neighborhood shall be solicited, and incorporated in staff analysis before the hearing examiner. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A). Formerly 10.65.160)

10.65.180 Libraries, museums, and neighborhood centers. SHARE

(4) Architectural Scale. New nonresidential buildings in the RS, RL, RM, and RH zoning districts shall meet WCC 10.48.270. Deviations to these standards may be considered where the applicant can demonstrate that the change or deviation in design is either necessary due to the inherent function of the facility, and/or the change provides for equal or greater compatibility with the character of the surrounding neighborhood. Consideration of such a deviation shall include an informal design review workshop recommendation of the planning commission, where input from the surrounding neighborhood shall be solicited, and incorporated in staff analysis before the hearing examiner. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.65.280 Schools. SHARE

(7) Architectural Scale. New nonresidential buildings in the RS, RL, RM, and RH zoning districts shall meet WCC 10.48.~~270080(4)~~. Deviations to these standards may be considered where the applicant can demonstrate that the change or deviation in design is either necessary due to the inherent function of the facility, and/or the change provides for equal or greater compatibility with the character of the surrounding neighborhood. Consideration of such a deviation shall include an informal design review workshop recommendation of the planning commission, where input from the surrounding neighborhood shall be solicited, and incorporated in staff analysis before the hearing examiner. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

10.65.310 Supervised living facilities. SHARE

(3) Architectural Scale. New supervised living facility buildings in the RS, RL, RM, and RH zoning districts shall meet WCC 10.48.~~270080(4)~~. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

Universal Changes

Eliminate the term "yard" associated with Title 10 setback provisions. Specifically make the following edits where necessary throughout Title 10 (where not already addressed by other suggested edits herein):

- Change "front yard setback" to "street setback".
- Change "side yard setback" to "side setback".
- Change "rear yard setback" to "rear setback".

Delete all references to "Planned Developments".

WENATCHEE MISCELLANEOUS TITLE 11 CODE CHANGES (ASSOCIATED WITH THIS RESIDENTIAL CODE UPDATE)

Draft August 16, 2019

NOTES:

- Only those sections/subsections with proposed changes are shown. Edits to existing language are tracked.

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Chapter 11.20 SUBDIVISION DESIGN STANDARDS

11.20.020 Streets.

(8) Minimum Standards for Streets and Sidewalks. The minimum standards for streets and sidewalks shall be determined by the following table or as authorized under Chapter 11.28WCC. Larger than minimum may be specified by the city upon the recommendation of the city engineer for unusual situations such as bike lanes, left turn storage lanes, etc.

Class	Min. R/W ¹ (feet)	Min. Curb- to- Curb (feet)	Drive Lane (feet)	Parking Lane (feet)	Planter ² (feet)	Min. Side- walk ³ (feet)	Max. Grade (%)
Principal Arterial	60- 80	56				2 @ 10	8
Minor Arterial	60- 70	44				2 @ 5	8
Collector	50	32	12	1 @ 8	2 @ 5	2 @ 5	10
Collector	60	38	11	2 @ 8	2 @ 5	2 @ 5	10
Res. Parking 2	60 ⁴	34	10	2 @ 7 ⁵	2 @ 5	2 @ 5	10
Res. Lane ⁶	40	24	12	0	1 @ 5	1 @ 5	10
Cul-de-	100	96		0	1 @ 5	1 @ 5	5

sac							
Private Lane ⁷	25	20	10	0	0	0	10
Private Lane > 500 ft. ⁸	32	27	10	7	0	<u>1 @ 5</u> <u>(Note 10)0</u>	10

Notes:

8. Private lanes within ~~infill residential~~planned developments or binding site plans that are longer than 500 feet and right-of-way is not dedicated to the public but rather to a homeowners' association or other organization as provided in WCC 11.16.180 and 11.16.190.

(9) Landscape Improvement. Required planting strips with street trees adjacent to collector and local access streets will be required to be improved with suitable landscape materials and irrigation systems in a manner, and to the specifications of, the city engineer.

(10) A detached pedestrian circulation system from the roadway serving the development and providing connectivity to pedestrian infrastructure adjacent to the development may be considered on a site by site basis by the City Engineer where the City Engineer determines that the provisions of the Transportation Element of the Wenatchee Urban Area Comprehensive Plan and applicable city code requirements can be met.

(10) Private Lanes. Private lanes are allowed when it is determined by the ~~City Engineer~~subdivision administrator that, pursuant to the Wenatchee urban area comprehensive plan, it is not necessary to dedicate the access in order to facilitate future subdivision of surrounding property. In no circumstance shall a private lane be permitted where the city engineer determines that future right-of-way dedication is necessary to facilitate future access to adjoining properties or where it is determined that a public road will more effectively implement the transportation goals and policies of the comprehensive plan. Providing this degree of flexibility within the City can provide consideration for site constraints which may be present and facilitate infill residential development within vacant or underutilized residential land in the urban growth area.

(c) Private Lanes – Permitted within ~~Planned infill residential development~~ Developments or Binding Site Plans. The following minimum standards apply: ~~to private lanes within planned developments or binding site plans:~~

(ii) Length and Turnaround Criteria for Private Lanes. The length of a private lane within an ~~infill residential~~planned development or binding site plan is not limited. A private lane that loops from a public road back to a public road is preferred. A turnaround shall be provided, improved with curbs, at the end of a private lane exceeding 150 feet in length. Options of turnaround curb shapes to adequately accommodate emergency vehicles are according to subsection (6) of this section, Dead End Streets.

(d) Private Lanes – Minimum Standards for All Private Lanes. ~~The following minimum standards apply to private lanes within a subdivision, planned development or binding site plan that connects to an existing or new public road:~~

(12) Private Lanes Established by Easement.

(a) Many constrained and underutilized lots exist in the city of Wenatchee, which due to historic development patterns, or the built or natural environment, cannot accommodate the requirements for a private tract necessary to meet access requirements for a short plat, binding site plan or major subdivision under subsection (10) of this section, Private Lanes. Additionally, in limited circumstances where an access easement could provide for improved building envelopes or lot

design, such as limiting the proliferation of flag lots, the use of an easement for access may be appropriate. When an applicant demonstrates these circumstances to the satisfaction of the city engineer, a private lane established as a permanent easement to provide legal access to each lot or dwelling unit of an ~~infill residential-planned residential development, under Chapter 10.42 WCC, Planned Developments,~~ may be authorized subject to meeting the following criteria and standards:

Chapter 11.32 CLUSTER SUBDIVISIONS, BINDING SITE PLANS AND UNIT LOT SUBDIVISIONS

11.32.010 Application and fees.

Applications for ~~cluster subdivision,~~ binding site plans and unit lot subdivisions shall be made on the appropriate forms and shall follow the procedures set forth for short plats, Chapter ~~11.12~~ WCC, or major subdivisions, Chapter ~~11.16~~ WCC. Filing fees, required improvements and all other requirements, except as specifically modified in this chapter, shall comply with either Chapter ~~11.12~~ or ~~11.16~~ WCC, depending on the number of lots in the ~~cluster subdivision~~ proposal. (Ord. 2017-16 § 2 (Exh. B); Ord. 2010-24 § 1; Ord. 98-40 § 4; Ord. 3080 § 800, 1994)

11.32.020 Applicability of zoning regulations.

~~Cluster subdivision shall meet the overall density requirements as set forth in the Wenatchee zoning ordinance. For the purposes of this chapter, the minimum lot size for the zoning district shall be divided into the gross area of land being subdivided to ascertain the total number of lots that will be allowed by this procedure. Individual lot sizes may be reduced by no more than 25 percent of the minimum lot size of the district. All such lot reductions shall be compensated for by an equivalent amount of land area in open space to be preserved and maintained for its scenic value, for recreation, or conservation purposes. Individual lot depth and width requirements may be reduced by not more than 20 percent. All other zoning ordinance regulations and use limitations remain in full force and effect. (Ord. 2017-16 § 2 (Exh. B); Ord. 2010-24 § 1; Ord. 3080 § 802, 1994)~~

11.32.030 Districts permitted.

~~Cluster subdivisions may only be allowed in the R-S and RL zoning districts as the same are depicted on the official zoning map for the city of Wenatchee. (Ord. 2017-16 § 2 (Exh. B); Ord. 2010-24 § 1; Ord. 3080 § 804, 1994)~~

11.32.040 Minimum size of cluster subdivisions.

~~Cluster subdivision shall not be allowed in subdivisions containing less than five acres. (Ord. 2017-16 § 2 (Exh. B); Ord. 2010-24 § 1; Ord. 3080 § 806, 1994)~~

11.32.050 Open space restricted.

~~The open space accumulated as a result of the application of WCC 11.32.020 shall be clearly labeled and numbered as a tract with the following language inserted on any and all plats filed for record:~~

~~This tract is held in reserve as a permanent open space and shall not be considered as a building lot, or encroached upon in any manner.~~

~~(Ord. 2017-16 § 2 (Exh. B); Ord. 2010-24 § 1; Ord. 3080 § 808, 1994)~~

11.32.060 Open space use and access.

~~The open space created and set aside pursuant to WCC 11.32.020 shall remain unimproved for preservation, recreation and conservation purposes, and shall be accessible without trespassing on private property, to all residents of the subdivision or, where the land has been deeded to the city of Wenatchee, to the public. (Ord. 2017-16 § 2 (Exh. B); Ord. 2010-24 § 1; Ord. 3080 § 810, 1994)~~

11.32.080 Unit lot subdivisions.

(1) Applicability and Purpose. This section is to apply exclusively to the subdivision of land for ~~courtyard housing, townhomes~~ attached single-family dwelling units authorized under city code and cottage housing development ~~processed as a residential planned development under Chapter 10.42 WCC.~~ The purpose is to allow for the creation of lots for ~~the individual ownership of these types of housing unit~~ ~~townhouse dwellings and cottage developments,~~ while applying only those site development standards applicable to the parent ~~parcel(s)~~ site as a whole, ~~established in Chapter 10.46 Wenatchee Development Standards.~~

(6) General Regulations.

(a) The unit lot subdivision as a whole shall meet development standards applicable to the underlying residential site development approval associated with a commercial or residential building permit ~~or residential planned development~~ as applicable, and the provisions of this section. As a result of the unit lot subdivision, development on individual unit lots may be nonconforming as to some or all of the development standards under Chapter 10.46 based on analysis of the individual unit lot. So long as the parent parcel(s) site meets the criteria of the underlying residential site development plan or the dwelling units are already in existence, each unit lot will be deemed to be in conformance. If the units are already legally in existence and do not comply with the development standards, a unit lot may be created for each existing dwelling unit. Subsequent platting actions, additions, or modifications to the structure(s) may not create or increase any nonconformity of the parent lot;

(e) Except for existing nonconforming development or as approved pursuant to Chapter 10.42 WCC, building setbacks shall be as required for the zone as applied to the underlying parent parcel(s) site as a whole. There shall be no setback required from individual unit lot lines which are interior to the perimeter of the parent site; provided, however, that any structure located upon a unit lot created hereunder shall comply with the setbacks applicable to the underlying residential site development plan;

City of Wenatchee

Proposed Residential Design Guidelines for Public Review

August 16, 2019

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A. Administrative

A.1. Purpose

The general purpose of these Residential Design Guidelines (Guidelines) is to implement the City's Comprehensive Plan vision, especially:

- Goal 12 Policy 8: Conduct a comprehensive review of dimensional and density standards for residential development. Where appropriate increase residential densities to accommodate a wider range of housing types. An increase in housing options and densities should include a review of new design tools and dimensional standards that protect or build upon neighborhood character; and
- Goal 12 Policy 9: Compatible blended density housing: Develop design standards and evaluate appropriate locations for diverse housing types within neighborhoods, utilizing blended densities, and evaluating and recognizing the differences between neighborhoods. The review should look at the character, form, intensity of development, and type of place as well as the mix of uses in the area. Relationships to surrounding neighborhoods are important as tiers or hierarchies of uses are evaluated. This approach to housing is more focused on desired form, with a range of housing types vs. a density-based zoning approach.

More specifically, the purposes of these Guidelines are to:

- Adopt more flexible design standards for residential development that will permit the construction of different housing types compatible with surrounding neighborhoods.
- Promote higher densities along major corridors and in existing neighborhoods already characterized by density.
- Provide clear objectives for those embarking on the planning and design of development projects within Wenatchee.
- Ensure attractive, functional residential development to meet the city's housing needs;
- Promote social and economic vitality;
- Foster safety and comfort through design;
- Promote original and high-quality design;
- Enhance the character and function of Wenatchee's streets;
- Promote building and site design that fits into the context of established neighborhoods;
- Promote sustainable design principles;
- Promote design that enhances the "sense of place" for neighborhoods;
- Increase the awareness of design considerations amongst the Wenatchee community; and
- Maintain and enhance property values through appropriate aesthetic and functional design considerations.

A.2. Administrative Procedures

The City of Wenatchee Community Development Director (Director) or designee will administer the Wenatchee Citywide Design Guidelines (Guidelines), lead the review process, and ensure that new development meets their intent. The review of a development project application with respect to the Guidelines will be the same as, and concurrent with, project review with respect to the zoning provisions. In cases where there is a question of applicability, the Director will make the decision.

A.3. Applicability

The provisions of these guidelines apply to:

- A.3.1. All residential development except single family residences on single lots (with or without joint access to public streets). However, these guidelines do apply to single family residences and otherwise exempt development if there is a directive in Title 10 WCC to comply with a specific guideline. Unless otherwise noted in Title 10 WCC or stated below in these guidelines, the guidelines do not apply to accessory dwelling units (ADUs) and detached accessory dwelling units (DADUs) where the additional building or addition is under 1,000 SF in gross floor area or otherwise stated below. The applicability with respect to specific conditions or residential types is specified within each section. The chart at the end of this section illustrates those development types to which these guidelines apply. If there is a discrepancy between the chart and the text, the text shall apply.
- A.3.2. Mixed-use development that includes more than one dwelling unit.
- A.3.3. Additions to existing residential buildings that increase gross floor area by 1,000 square feet or more require conformance for the new portion of the structure and the area of the site that must be modified as a result of the expansion (this could include walkways, driveways, parking, signage, etc.); and
- A.3.4. Exterior modifications such as façade changes, windows, awnings, signage, etc., shall comply with the design guidelines.
- A.3.5. If there is a discrepancy in these guidelines between the text and figures or charts, the text shall apply.
- A.3.6. The following chart identifies the housing types for which the guidelines apply.

Residential Type	Applicable
Single family dwellings	If referenced in Title 10
Single family cluster	If referenced in Title 10
Single family courtyard	Yes
Duplex	Yes
Multifamily dwellings	Yes

Residential Type	Applicable
Accessory dwelling units, detached accessory dwelling units	If referenced in Title 10
Cottage housing	Yes
Courtyard housing	Yes
Townhouses, zero lot line residences	Yes
Live-work dwellings	Yes
Mixed-use building with at least one residential unit	Yes
Single purpose commercial buildings	No

A.4. Terms Used in the Guidelines

Most sections include the following elements:

- Intent statements, which are overarching objectives, these statements are to be for assistance in determining whether or not the application meets the requirements in the guidelines. Some guidelines offer multiple means of satisfying requirements and allow for proposals that are not specified in the provisions. In these cases the intent statements provide guidance as to whether these alternative proposals are acceptable.
- Words such as “shall,” “must,” and “is/are required,” signify required actions or features, and must be complied with.
- The use of the word “should” means that the provision is required unless there is a compelling reason to the contrary, as determined by the director.
- The use of words such as “is/are recommended,” signifying voluntary measures.

A.5. Organization of the Residential and Mixed-Use Guidelines

These guidelines are organized into sections roughly arranged in the sequence of decisions made during the design process. That is, they consider first, the larger site layout parameters that determine the size and configuration of the major project elements such as buildings, parking and circulation. The second section addresses the site design features such as pathways and landscaping that further refine the site layout. The third section covers building design elements that are usually addressed after the larger site elements and building footprints have been determined.

B. Introduction

B.1. Residential Development Types

As noted in A.1 Purpose, one of the Director's objectives in establishing these guidelines is to encourage the development of a wider spectrum of residential housing types that in turn offers households more choices in meeting their housing needs, provides housing at different affordability levels, and gives residential developers greater flexibility in taking advantage of different site conditions and market opportunities. At the same time, it is critical that new development fit with its neighborhood context and does not negatively impact its neighbors. To accomplish this, these guidelines and Wenatchee Municipal Code Title 10: Zoning include provisions to address development issues specific to each individual housing type.

Chapter 10.08 WCC defines the different housing types with respect to specific criteria. These definitions will be used in project review. Chapter 10.10 WCC identifies which housing types are allowed in each of the Director's land use zones and overlay districts. Chapter 10.46 describes the dimensional requirements for development envelopes for each zone, specifying, for example building setbacks, lot coverages and height limits. These Chapter 10.47 describes the dimensional requirements for each housing type in each zone and overlay district.

The following sections in B.1 describe the design characteristics, advantages and considerations typical of each type. The contents of section B.1 are for information purposes and are not requirements.

Section B.2 identifies the character areas within the City for the purposes of integrating new development into existing neighborhoods.

B.1.1. Single Family – Cluster

Single Family – Cluster

Description: Two or more single family residences that are developed as part of a Cluster Subdivision in accordance with WCC 10.47.050 or which are developed per other City approved permit in which there are exemptions to the dimensional requirements of Chapter 10.46 WCC.

Design Characteristics:

- Residences are developed according to densities and height limitations allowed in WCC 10.46.
- Lots and setbacks may be smaller than individual single family residences required in WCC 10.46 as long as there is an equivalent amount of open space and impacts to neighboring lots are no greater than if the WCC 10.46 provisions were applied.

Advantages:

- Allows for more efficient development of irregular and unusually configured lots.
- Allows for protection of site features such as critical areas, steep slopes, and open space.
- Allows to more efficient vehicle circulation and parking.

Design Considerations:

- Ensure that the resulting open spaces are usable, protect a natural resource, or provide another public benefit.
- Ensure that vehicle access and internal circulation are safe and efficient.
- Minimize loss of privacy and solar access to neighboring single family residences.
- Clustering may require maintenance agreements for the common space.

Reference: See also WCC 10.47.050.



B.1.2. Single Family – Courtyard

Single Family – Courtyard

Description: Two or more single family residences with access from a shared private lane.

Design Characteristics:

- Single family residences with vehicle and pedestrian access from a shared private lane.
- The single family residential lots include yards and entries oriented to the shared private lane rather than the public street.

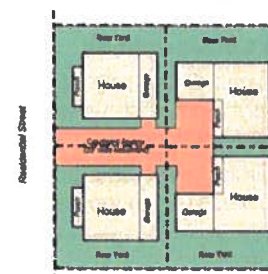
Advantages:

- Allows for more efficient development of larger or unusually configured lots.
- In some cases, it may reduce pavement area and facilitate accommodation of parking spaces.
- Allows for fewer curb cuts.
- In some cases, better plat design than skinny lots.
- This configuration could be combined with single family – cluster development (i.e.: the lot and building could be smaller if allowed by code).

Design Considerations:

- Ensure that the street facing facades of the residences and site improvements provide a pleasant streetscape.
- Ensure accessible and pleasant pedestrian circulation.
- Orient residential entries to be welcoming.
- Minimize the negative impacts of vehicle access and parking.
- Requires access easements and maintenance agreements.

Reference: See WCC 10.47.060.



B.1.3. Duplexes

Duplexes

Description: A detached residential building designed for occupancy by two self-contained attached dwelling units living independently of each other (WCC 10.08.055 "D").

Design Characteristics:

- Duplexes may look like a single family residence, especially if there is a single driveway or the drives access from an alley.
- Corner lots offer excellent opportunities for ground related duplexes.
- Dwelling units may be situated side by side or one over another.
- Stacked duplexes (one unit over another) can tend to be – but are not necessarily – bulkier than single family residences.
- Some existing two-story houses can be successfully converted to a stacked duplex.
- New duplexes can feature a variety of styles and configurations.

Advantages:

- Added density without changing the character of a single family neighborhood.
- Tends to be more affordable per unit than single family residence.
- Offers home buyer the ability to reduce monthly cost with revenue from rental unit.

Design Considerations:

- Duplexes are most compatible in single family neighborhoods when they have the same architectural character as their neighbors.
- Building elements and details are important to prevent duplexes from looking "boxy".
- It is especially important to minimize driveways and curb cuts.
- Front yards, entries, and drives must be configured to create a pleasant streetscape.
- Exposed parking under the building and visible from the street should be avoided.

Reference: See WCC 10.47.090 for use standards.



Duplexes work well on corner lots.



Older houses can be successfully converted to duplexes if parking can be accommodated.



Contemporary styled duplexes are possible.

B.1.4. Cottage Housing

Cottage Housing

Description: "Cottage housing" means four or more small, detached individual dwelling units sharing commonly owned open space, courtyard, and parking area. See WCC 10.47.070. Cottage housing development with two to three units is referred to as infill cottage housing. See WCC 10.47.060.

Design Characteristics:

- Small, usually one to one and a half stories, individual dwelling units with porches and individual gardens near entries.
- Attractive architectural details, materials, and colors that offer some individuality for each unit but lend a continuity for the whole complex.
- Attractive courtyard provides shared open space.
- Parking can be individual spaces or in a combined lot around perimeter.

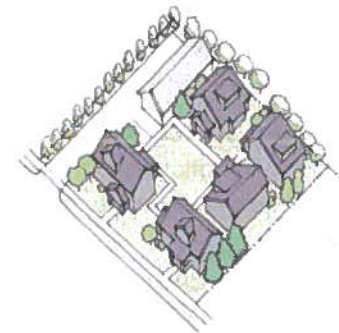
Advantages:

- Increased density without the bulk of large buildings.
- Offers small unit living within an individual structure.
- Orientation around a courtyard offers social setting and security.
- Generally more affordable than a traditional single family residence.
- Usually compatible with single family neighborhoods.

Design Considerations:

- Privacy and security should be addressed in site design.
- Relationship between the cottages and open space must be welcoming but provide privacy.
- Architectural detailing and landscaping is important to ensure quality.
- Parking location and site design should minimize impacts.

Reference: For four or more units, see WCC 10.47.080. For infill cottage housing options with three or fewer lots, see WCC 10.47.070.



Note: Shared parking and individual lots of this example.

B.1.5. Townhouses

Townhouses

Description: A single family dwelling with an individual entry onto a street or common walkway that shares at least one wall – and a property line – with another dwelling. Townhouses are typically individually owned ground related units. See WCC 10.47.110.

Design Characteristics:

- Townhouses generally feature a compact footprint and multiple stories.
- Townhouses may be aligned in a straight row facing a street or configured around a courtyard or common pathway.
- The front facade of townhouses may feature building modulation to break up the building's massing.
- Front yards of townhouses are often relatively small.

Advantages:

- Added density and affordability.
- Usually individually owned.
- Can provide an individual backyard.
- Can provide a pleasant streetscape and transition between public right of way and interior privacy.

Design Considerations:

- Because of townhouses' relatively narrow width, it is important that driveways and automobile access from the main street are minimized or should drive so they do not dominate the front facade (alley access is preferred).
- If the front townhouse facades are situated near a public street, the ground floor should be elevated and/or set back from the sidewalk to maintain the residents' privacy.
- Building elements, details, and modulation can help reduce the building's massing.
- The color or detailing may vary from one unit to the next to add individual identity to the residences.



B.1.6. Courtyard Housing

Courtyard Housing

Description: Multifamily dwelling units surrounding a courtyard, pathway with landscaping, or other open space.

Design Characteristics:

- Generally, the units are ground related.
- The central open space may be lawn, a passive open space with a garden or landscaping, or an active open space with, for example, playground equipment.

Advantages:

- Allows higher densities and more affordable units.
- Offers a unique residential type.
- The open space can be very attractive and useful.

Design Considerations:

- The design of the open space and the transition between public open space and the private spaces around the units are very important.
- Impacts of parking should be minimized.
- The complex should present an attractive street front.

Reference: See also WCC 10.47.100.



B.1.7. Multifamily

Multifamily

Description: Buildings with three or more attached units. Such buildings may have common or individual entrances and could be rental apartments or condominiums.

Design Characteristics:

- Generally aligned parallel to the street front but may be arranged around an internal courtyard. See courtyards or condos above.
- Upper story facades include elements such as balconies, modulation, and clusters of windows to break up the building's massing.

Advantages:

- Offers higher density and amenities such as a roof deck, views, etc.
- Generally, more affordable than other housing types.
- Appropriate in places where a less established residential neighborhood context is offset by convenience and internal amenities.

Design Considerations:

- Measures should be taken to ensure livability of dwelling units at or near grade.
- The front facade of the building should incorporate building elements, articulation, attractive materials, and details.
- The front yard landscaping should provide privacy to ground floor units and screen parking, as well as add to a usable streetscape.
- Some residential open space should be provided. This may take many forms (outdoor courtyard or other open space, roof deck, balconies, exercise room, etc.).
- The entry(s) should be welcoming and secure.
- The privacy and solar access of neighboring residences in adjacent lower intensity zones should be protected by building setbacks and upper story step-backs, if necessary.

Reference: See also WCC 10.47.130.



B.1.7. Mixed-use

Mixed Use

Description: For the purpose of these guidelines, a "mixed use building" refers to a building that features a non-residential use or uses on at least a portion of the ground floor and at least one dwelling unit.

Design Characteristics:

- Ground floor storefront uses feature weather protection, transparency (ample window area), commercial ceiling height, attractive details, and a welcoming entry to encourage pedestrian activity.
- Upper stories feature elements, characteristics, and materials that provide a "human scale" and attractive facade.

Advantages:

- Offers very convenient services and pleasant street level activity.
- Usually relatively affordable.
- Highest density of all residential types and reduces pressure on single family neighborhoods.
- May offer views.
- Concentrations of residents support local businesses.

Design Considerations:

- The front facade of the building should incorporate building elements, articulation, attractive materials, and details.
- Some residential open space should be provided. This may take many forms (outdoor courtyard or other open space, roof deck, balconies, exercise room, etc.).
- The entry(s) should be welcoming and secure.
- The privacy and solar access of neighboring residences in adjacent lower intensity zones should be protected by building setbacks and upper story step-backs, if necessary.

Reference: See also WCC 10.47.140.



B.1.8. Live-Work Dwellings

Live-Work Dwellings

Description: WCC 10.08.095 "L" defines "live-work dwelling" as a dwelling unit designed to accommodate a small commercial enterprise on the ground floor and a residential unit above and/or behind.

Design Characteristics:

- Generally, two- to three-story buildings with a large multipurpose space near the front entrance that can accommodate commercial, retail, or office activities.
- The front space must be ADA compliant if patrons or clients are expected to visit.
- Two or more units may occupy a single building in a townhouse type of configuration, or they may be arranged around a shared access point.
- Sometimes the units are flexible so that the ground floor can function as a ground related unit or as a work space, depending on the occupant's needs.

Advantages:

- Offers a unique opportunity for small businesses.
- Its small scale can fit within some neighborhoods or provide a transition between a commercial district and a single family neighborhood.
- Offers flexibility for the owner.

Design Considerations:

- Parking should be carefully considered as the unit may need space for both residents and clients.
- Care should be taken so that the unit doesn't become just a townhouse without privacy for the resident.
- Signage and commercial access should be addressed.

Reference: See also WCC 10.47.120.



B.2. Establishment of “Character Areas”

One of the objectives of these guidelines is to support and enhance the unique design characteristics of specific neighborhoods or areas within the city. One way to do this in the design of new residential development is to emphasize the architectural design characteristics of the locale in which it is built. To implement this goal the following “character areas” are established as described below and on the map in Figure B.2.a.

Core Residential Neighborhoods. All properties in the RM and RH zones east of Western Avenue, north of Crawford Avenue, and south of the Wenatchee River.

Perimeter Residential Neighborhoods. All properties in the RS, RL and RF zones south of the Wenatchee River plus all RM and RH zoned properties south of Crawford Avenue.

Sunnyslope. All residentially zoned properties north of the Wenatchee River.

North and South Wenatchee Business Districts. All properties in the NWBD and SWBD zones plus adjacent areas in the residential mixed-use zoning district.

Greater Downtown District. All properties in the CBD zone plus some adjacent areas in the residential mixed-use zoning district.

Section E.2.4 Architectural design Character and E.6.2 Building materials and colors include guidelines that apply to specific character areas.

B.3. Grandview Historic District

The guidelines related to design character in WCC sections D.1.4, E.2.4 and E.6.2 do not apply to properties in the Grandview Historic District. Projects in the historic district shall be reviewed in accordance with WCC 10.40.060.

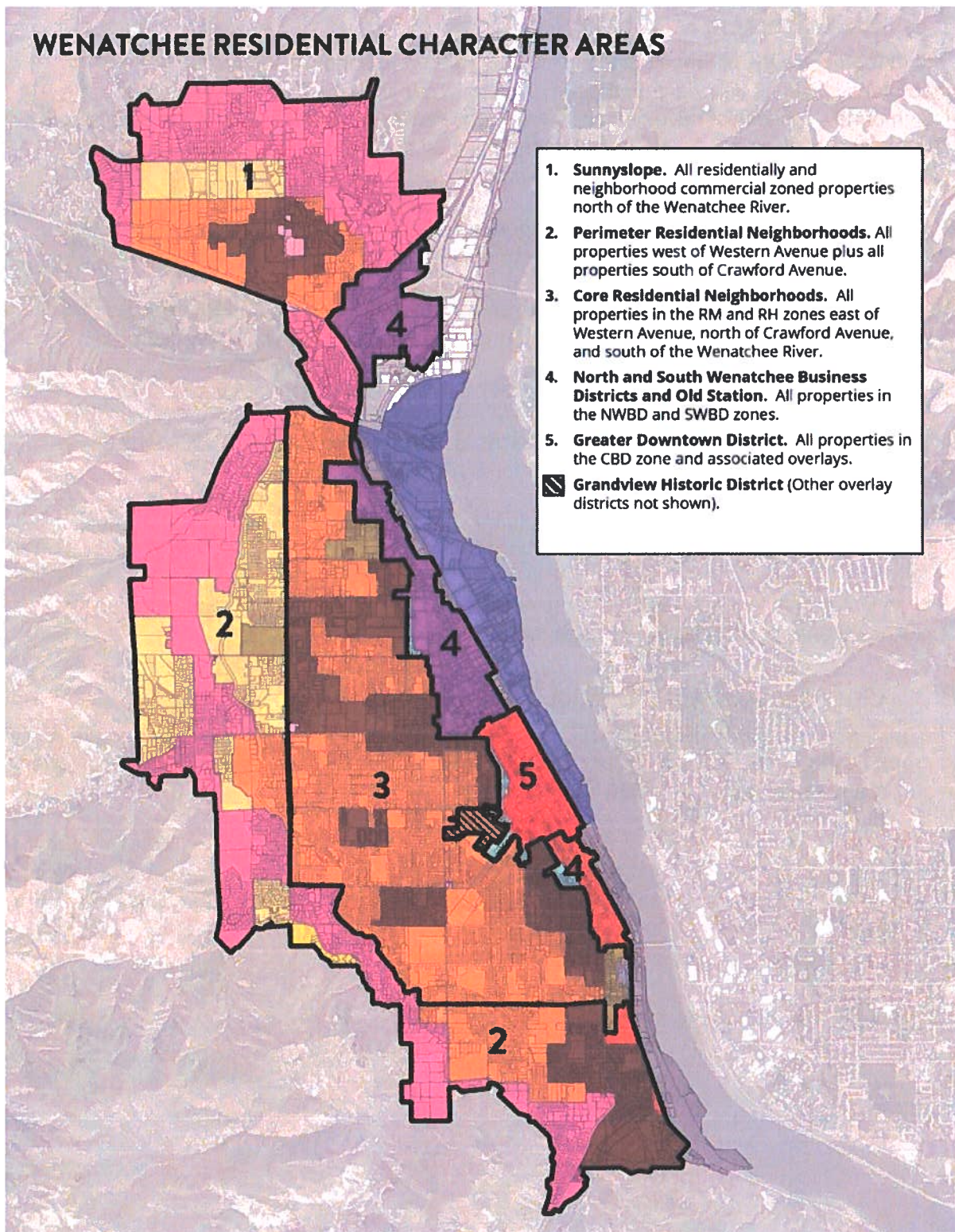


Figure B.2.a. Character area boundaries.

C. Site Planning

C.1. Relationship to Street Fronts and Common Pathways

INTENT:

- To provide for the privacy, comfort, and livability of the residential units.
- To provide an attractive streetscape.
- To allow for friendly communication between residents in an outdoor space and pedestrians on the sidewalk.
- To provide an inviting entry into the units.
- To foster pedestrian-oriented businesses and activities in mixed-use buildings on pedestrian-oriented streets.

GUIDELINES:

C.1.1. Ground-related units facing streets, common pathways or common open spaces.

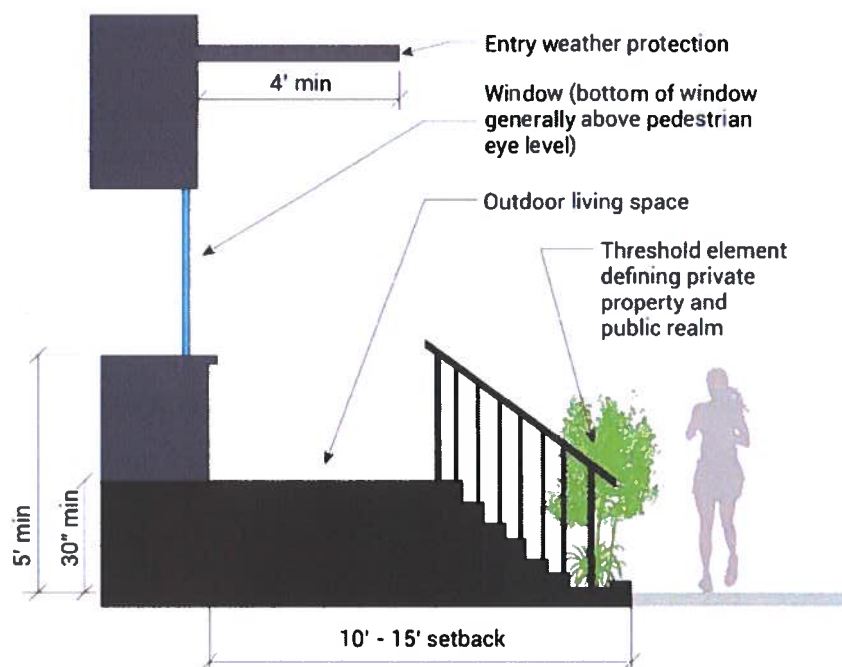
- a. Applicability: This guideline applies to all ground related residential units facing a public street or common pathway or common open space within a development. "Ground related residential units" or ground floor residential units" means residential units such as townhouses, ground floor apartments, ground floor duplex units, cottage housing, etc. which face a public right of way or common pathway or common open space within a development and have their ground floors within 3 feet above or below the walkway or open space grade. Units that have pedestrian access directly from a street or pathway without passing through a lobby or room are also ground related



Figure C.1.a. Desirable ground related residential example with raised unit, landscaping, and small porches to enhance privacy while providing a welcoming streetscape (right). Similarly, these measures add privacy and a sense of community in units facing a common pathway or open space such as cottage housing complexes and courtyard apartments (left).

- b. Street access. Ground-related residences fronting a street or common pathway shall all have individual ground-related entries accessible from the street or pathway. Units situated around a courtyard or on another type of open space shall feature entrances to those elements.

- c. Setback or elevate units for privacy. Provide for internal privacy for people living in the ground related units through all of the measures as follows. Reduced setbacks (where allowed by WCC Chapter 10.46) warrant greater pro-active design treatments to create an attractive and effective transition between the public and private realms.
- i. Setback ground level residences at least 5 feet from a public right of way (or from a common open space or pathway if the residence is adjacent to either of those features). If the front façade is 10-15 feet from the street ROW, pathway or open space grade and elevate the ground floor unit at least 30 inches above grade and elevate the bottom of ground floor windows facing the street at least 5 feet above grade. If the front façade is 5-10 feet from the street ROW, pathway or open space grade and elevate the ground floor unit at least 3 feet above grade and elevate the bottom of ground floor windows facing the street at least 6 feet above grade.



The above provisions apply to ground-level residential frontages with 10-15' setbacks. The below provisions apply to ground-level residential frontages with setbacks less than 10'.

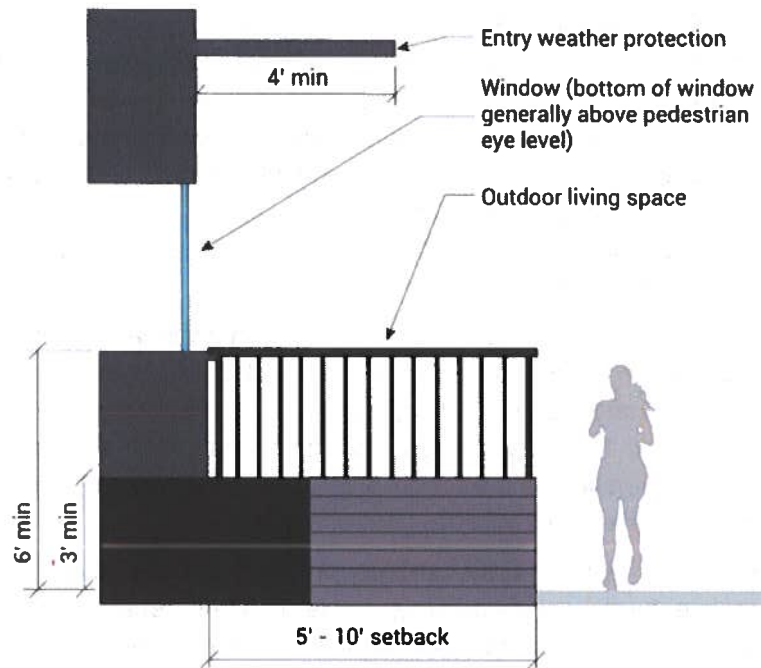


Figure C.1.b. Dimensional relationships to maintain privacy and provide a successful transition between public and private realms when setbacks are reduced below 10 and 15 feet.



Figure C.1.c. The above images show ground-level residential frontages with setbacks of approximately 10 feet (left image) and 5 feet (right image) along different street frontages for this corner apartment building. These ground level units all have their own private unit access from the sidewalk and are elevated above the sidewalk to enhance the privacy to the units. The landscaping elements, brick posts, split-faced concrete block stoop walls, and black metal railings help to provide an attractive and effective transition between the public and private realm within the adjacent dwelling units.

- ii. Provide a physical “threshold” feature such as a hedge, retaining wall, rockery, stair, gate, railing, or a combination of such elements on private property that defines and bridges the boundary between public right of way and private entry, porch, yard, or patio. Thresholds may screen but must not block views to and from the street or common pathway. Retaining walls adjacent to a public ROW shall be no taller than 30 inches. If additional height is required to accommodate grade conditions, then accommodate the grade change according to D.5.1.
- iii. Provide an outdoor space at least 4 feet in depth and 6 feet wide (24 square feet minimum) in the front setback such as a porch, patio, deck, or stoop. Where feasible, this space must be at the same level as the interior of the unit. The Director may allow an exception for an outdoor space with other dimensions if the space meets the intent of providing a transition between the street and the private space.
- iv. Provide a covered area, porch or protected entry space, or other architectural weather protection at least 4 feet deep and 4 feet wide (parallel to the street or pathway), that provides cover for a person entering the unit and a transitional space between outside and inside the dwelling.
- v. Landscaping planters shall be integrated into transitional areas between the dwelling unit and the adjacent sidewalk, pathway or open space to enhance the transition between public and private realm (see Figure C.1.c below for an example). Where the ground level dwelling unit setback is more than ten feet, a landscape planter shall be integrated between the sidewalk, pathway, or open space and the porch, patio, deck, or stoop. Where the ground level dwelling unit setback is less than ten feet, a landscape planter shall be integrated between dwelling units/stoops.



Figure C.1.d. Ground floor residential units such as these often lack privacy and the livability of outdoor spaces is limited. Locating the ground floor at or close to grade or with insufficient setback results in an uninviting space even with the planter in place. This condition should be avoided.

C.1.2. Street fronts on pedestrian-oriented streets.

- a. **Applicability:** This guideline applies to all development facing a designated pedestrian-oriented street. (See Figure C.1.e)

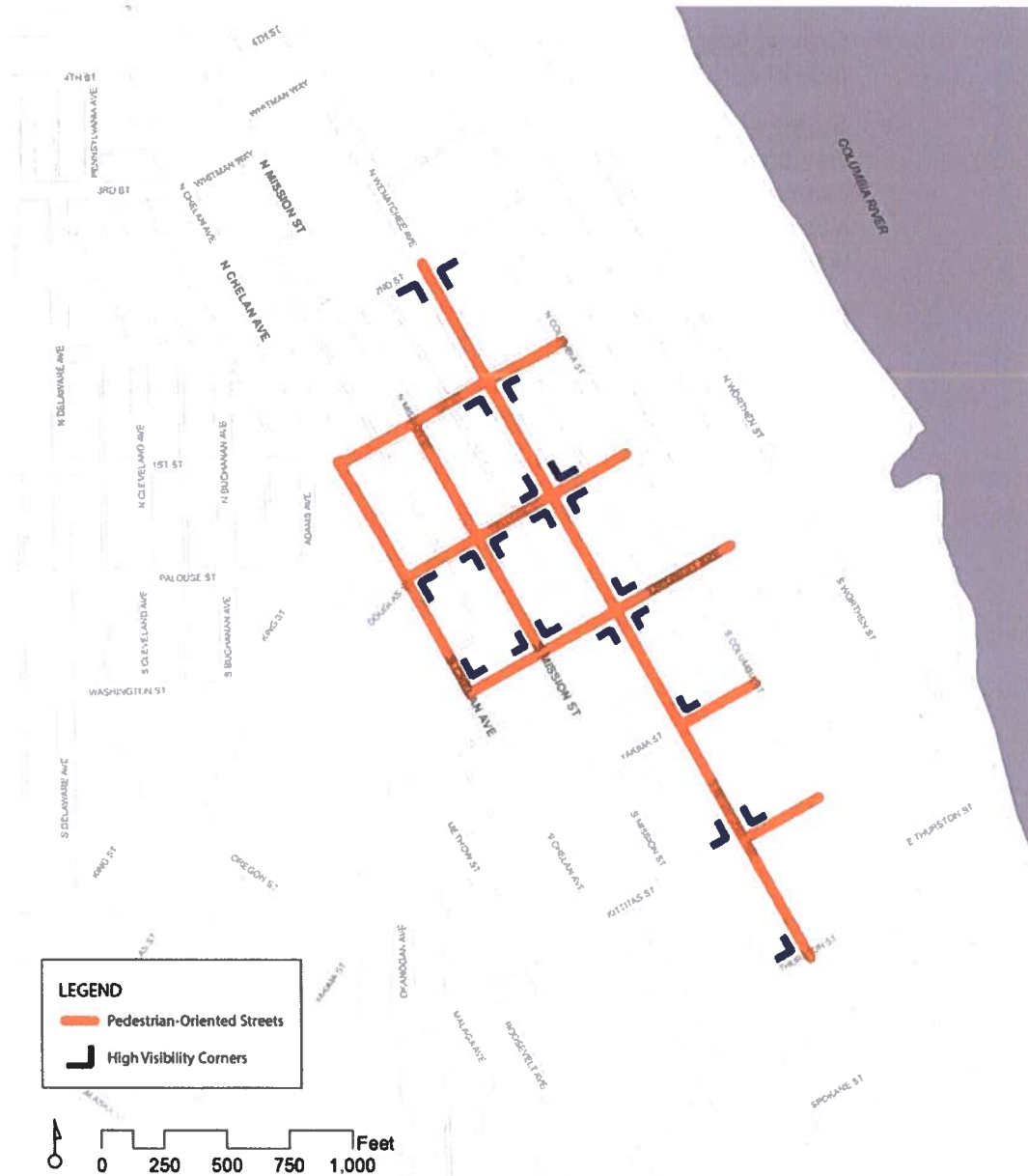


Figure C.1.e. Designated pedestrian-oriented streets.

- b. Pedestrian-oriented façade. Feature "pedestrian-oriented façades" as described in Section E.4.1 Pedestrian-Oriented Facades.
- c. Ground floor use. Feature non-residential ground floor uses. Hotel and multifamily residential lobbies, common rooms and entries are allowed.
- d. Ground floor setbacks. Feature ground floor setbacks at least 12' from the face of curb. Upper stories may extend to the property/right of way line.
- e. Street wall definition. The ground floor shall extend to the property/right of way unless the setback from the curb required in "d" is applicable. (For example, align the building along the right of way unless the resulting sidewalk area is less than 12' wide from back of curb to the first floor building wall at grade.)

Exception: A building front (measured parallel to the right of way line) may be set back up to 60' from the right of way provided the setback is occupied by a plaza, landscaped area or other space that invites pedestrian activity and buildings facing the open space meet the Pedestrian Façades and Weather Protection requirements in Section E.4.1.

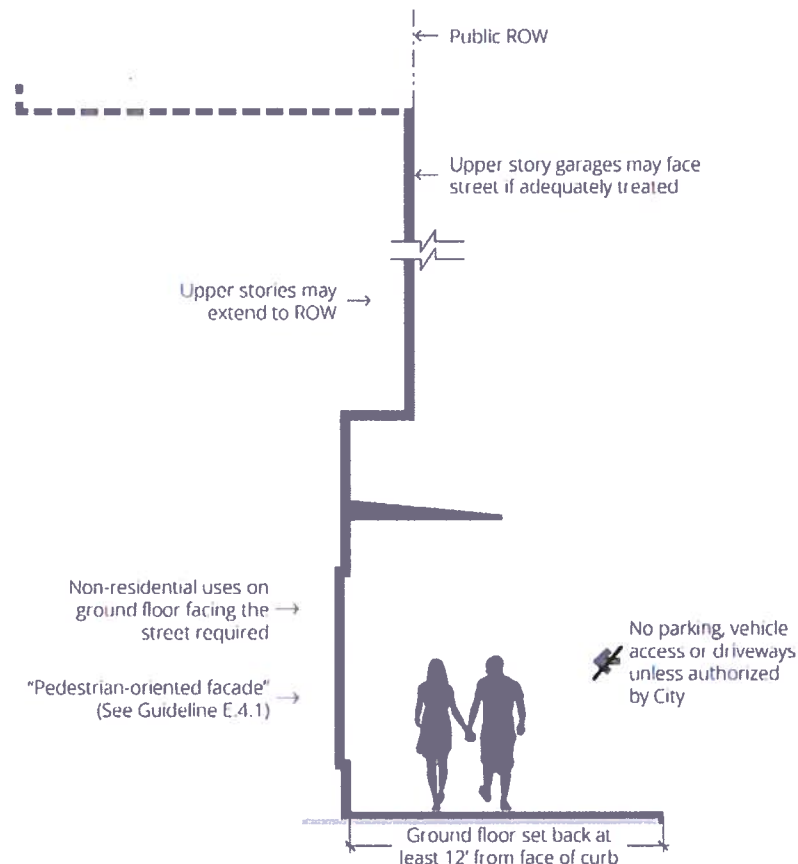


Figure C.1.f. Summary of requirements for building façades facing a designated pedestrian-oriented street. (This diagram is for illustrative purposes only. See Section C.1.2 for stated requirements.)

- f. Vehicle parking. Surface vehicle parking directly fronting, and ground floor structured parking directly adjacent to a designated pedestrian-oriented street is prohibited. The Director may allow upper story parking facing the street if the façade is suitably treated to appear as an occupied building or incorporates articulation treatments that break up the massing of the garage and add visual interest as described in Section E.7.1. The Director may also allow structured parking to face a designated pedestrian-oriented street if the subject property faces two or more designated pedestrian-oriented streets and the parking is treated per Guidelines E.8.
- g. Vehicle access (driveways). All vehicle access shall be from another street or alley unless the Director determines that there is no other way to provide safe vehicle access. For example, if the property is on the corner of two designated pedestrian-oriented streets or fronts a designated arterial and a designated pedestrian-oriented street, the Director will determine which street fronts may feature vehicle access (a driveway).

C.1.3. Location and configuration of parking facilities facing a street front.

- a. Applicability: This guideline applies to all parking lots serving more than two residential units. This guideline does not apply to parking lots that only face an alley or private roadway.
- b. Parking lot location. All parking must be located besides, behind, underneath, or above the ground floor use facing the street (i.e., no parking is allowed between the building and the street). Parking is limited to 50% of the street front or 65 feet, whichever is narrower. Parking areas serving more than two residential units along the street must be screened (See Section D.1 and Chapter 10.62 WCC).

C.2. Pedestrian and Non-Motorized Circulation

Note: This section addresses requirements for the layout and configuration of pedestrian circulation within the site such as walkways, trails, internal sidewalks. See Section D.2 for design elements associated with pedestrian movement such as lighting, paving, adjacent landscaping, etc.

INTENT:

- To improve the pedestrian environment by making it easier, safer, and more comfortable.
- To provide pedestrian access to transportation resources such as sidewalks, bikeways, crosswalks, and bus shelters connecting to all modes of transportation.
- To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and streets.

GUIDELINES:

C.2.1. Pedestrian connectivity within multi-unit residential complexes.

- a. Applicability: This guideline applies to all residential development with more than one building.
- b. Pedestrian paths. Provide safe, accessible pedestrian paths or sidewalks from the primary residence entry to a primary internal street, public street, or common open space. Pathways used to satisfy this requirement must conform to the provisions in Section D.2.
- c. Pedestrian network. The pedestrian circulation system shall connect all main entrances on the site. For duplexes, triplexes, fourplexes, and townhouses or other residential units fronting the street, the sidewalk may be used to meet this standard. For multifamily developments, pedestrian connections to other areas of the site, such as parking areas, recreational areas, common outdoor areas, and any pedestrian amenities are required.
- d. Bicycle facilities: In multi-story multifamily buildings where some units are not ground related, provide at least one secure bicycle storage space for each unit. The storage space may be within a structured parking area, special structure or within the dwelling unit, if approved by the Director.

C.3. Multifamily Open Space

INTENT:

- To create useable space that is suitable for leisure or recreational activities for residents.
- To create open space that contributes to the residential setting.

GUIDELINES:

C.3.1. Amount of required "residential open space". See WCC Chapter 10.47 Residential Use Standards for open space required for different residential development types.

C.3.2. Requirements for different types of required residential open space.

- a. Applicability: This guideline applies to open space required for all residential units noted in C.3.1 and WCC 10.47. Residential developments may include other types of open space that do not qualify as required residential open space such as wider landscaped buffers or critical areas. However, these features do not count as "residential open space".
- b. Requirements for common open space. To qualify as common open space for the purpose of meeting open space standards for applicable housing types described in WCC Chapter 10.47 such open space shall:
 - i. Be of a grade and surface suitable for complying with provisions below.
 - ii. Be on the site of the proposed development.
 - iii. Conform to minimum dimensional requirements described in WCC Chapter 10.47 for the various housing types.
 - iv. Not be located within: the required street setback, any required

landscaped areas, nor areas devoted to parking or vehicular/pedestrian access (including sidewalks required for meeting the pedestrian circulation requirements). Exception: Common open space may include areas within a setback if that open space meets all the other requirements of this Guideline, C.3.2.

- v. Be centrally located and designed to be conveniently accessible to all residents from the interior of the development;
- vi. Include at least 75 percent “usable open space”. Usable open space includes open play areas and outdoor recreational features, trails and paths, community gardens, walkable lawns and other similar types of areas. Private balconies, patios, or decks as well as inaccessible open spaces specifically do not qualify as common open space.
- vii. Common open space shall be separated from ground level windows, streets, service areas and parking lots with landscaping, low-level fencing, or other treatments as approved by the Director that enhance safety and privacy for both the common open space and dwelling units. See also requirements for ground related units in C.1.1.
- viii. When possible, the space shall be oriented to receive sunlight, face east, west or preferably south, when possible.



Figure C.3.2.a. Four examples of common space illustrating that such space can serve a variety of uses.

- c. Requirements for balconies counted as useable open space. To be counted as usable open space, balconies must be at least 6 feet wide by 6 feet deep.
- d. Requirements for roof decks counted as usable open space. To be counted as useable open space rooftop decks must:
 - i. Be at least 15 feet by 15 feet - and at least 225 square feet in area.
 - ii. Include amenities and spaces for activities such as dining, resting, parties, etc.
 - iii. Include protection to mitigate weather conditions such as wind, sunlight, and rain.
 - iv. Include landscaping (e.g.: container plantings), artwork or other enhancements.
 - v. Be accessible to all units.



Figure C.3.2.b. Two examples of acceptable rooftop decks.

- e. Requirements for interior spaces counted as usable open space. To be counted as usable open space the room or interior space must be open and accessible to all units and include furniture or equipment to support recreational activities such as physical exercise, dance, or group functions, games, meetings, dining, etc.



Figure C.3.2.c. Examples of acceptable interior open spaces.

C.4. Vehicle Access and Parking

INTENT:

- To allow for residential infill that is compatible with the character and scale of existing residential neighborhoods without adversely impacting neighbors.
- To enhance the character of the street and neighborhood.
- To maintain “eyes on the street” for safety to pedestrians and to create a more welcoming and interesting streetscape.
- To de-emphasize garages and driveways as major visual elements along the street.
- To provide safe and efficient vehicular access to residences.
- To minimize conflicts with pedestrian circulation and activity.

GUIDELINES:

C.4.1. Vehicular access - general.

- a. Applicability: This guideline applies to all residential developments subject to this section: Design Guidelines for Residential Development (Excluding single family houses on single lots and Accessory Dwelling Units). For development fronting on designated pedestrian-oriented streets, see sections C.1.2. e & f above.
- b. Street access. All vehicle access such as driveways shall be from an alley if one is available and the Director determines that the alley is sufficiently sized, configured and paved for vehicular access. If no alley is available, then access shall be from the street with the lower street classification or less traffic, as determined by the Director.
- c. Parking facilities requirements. Parking facilities shall be provided in accordance with WCC Chapter 10.60.
- d. Garages within the RS, RL and RM zones, garages facing a public street (not an alley) must be set back in accordance with WCC Chapter 10.46. See also Section E.7 for garage and parking facility design requirements.
- e. The location and configuration of parking facilities and associated landscaping shall be as approved by the Director and meet the requirements of WCC 10.48.130 (clear view triangle).

C.4.2. Vehicular access for residences with individual driveways and parking facilities See WCC Chapters 10.46 and 10.47 for requirements specific to different zones and residential types.

C.4.3. Vehicular access for residences with driveways and parking facilities serving multiple residences (e.g.: parking lots for multifamily structures, courtyard complexes, etc.)

- a. Applicability: This guideline applies to all developments where automobile access and parking is shared by multiple residential units.

- b. Driveway width. Driveways serving multiple residences shall meet WCC 3.16. Fire Code, including appendix D, Fire Apparatus and access Roads, and shall not be less than 20 feet wide and not more than 24 feet wide.
- c. Driveway length. Driveways shall be sufficiently long to accommodate a vehicle parked between the right of way and the garage without blocking the adjacent sidewalk. (Typically 18 feet minimum.)
- d. See also Section C.1.3. Location and configuration of parking facilities facing a street front.

C.4.4. Streetscape design of internal roadways.

- a. Applicability: This guideline applies to all developments where automobile access requires internal roadways other than from a public right of way to a single parking area or structure.
- b. Internal streetscape design. To increase the function and appearance of internal roadways on sites greater than two acres, street trees and sidewalks at least 5 feet wide must be provided on all internal access roadways, excepting access roads designed solely for the purpose of service (e.g. waste pick-up) and loading.

C.5. Site Planning for Security

INTENT:

- To increase personal safety and property security.
- To discourage property damage and vandalism.

GUIDELINES:

C.5.1. Provisions to increase safety and security – features to avoid.

- a. Applicability: This guideline applies to all residential and mixed-use development.
- b. Avoid entrapment areas (where a person could become trapped with no exit route). Provide two means of egress from all outdoor spaces. Also ensure that entrapment conditions are avoided in the design of rooftop decks and service areas.

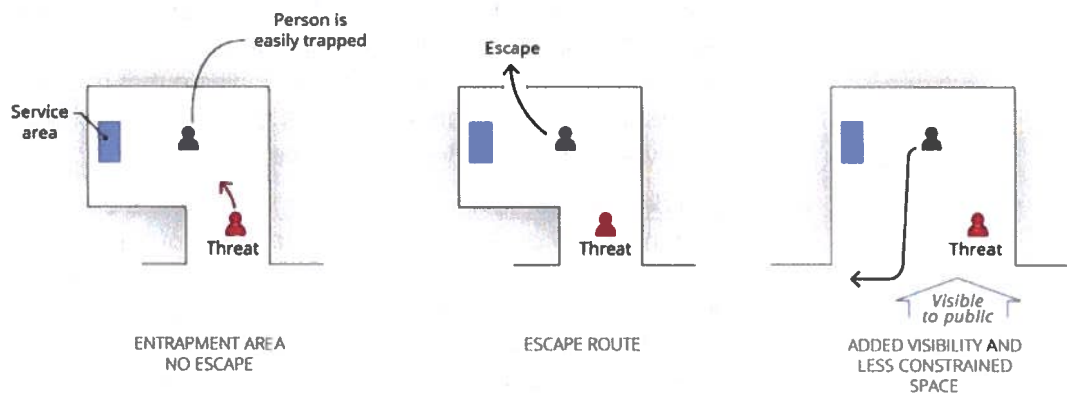


Figure C.5.1.a. Measures to avoid entrapment.

- c. Visibility. Avoid areas that are dark or not visible from a public space or right-of-way.
- d. Sight obscuring elements. Avoid vegetation and fences that restrict visibility into occupiable open space, pathways and building entries and buildings, vegetation, or other objects (e.g., a storage enclosure) that block visibility into a space or provide places to hide. Where visibility is necessary to avoid creating an unsecure area to reduce the potential for pedestrian/vehicle collisions, do not plant vegetation that will obstruct views between three feet and eight feet above the ground.

C.5.2. Provisions to Increase Safety and Security – Features to Include

- a. Applicability: This guideline applies to all residential and mixed-use development.
- b. “Passive surveillance.” the ability of people occupying buildings and public spaces to view all parts of accessible spaces.

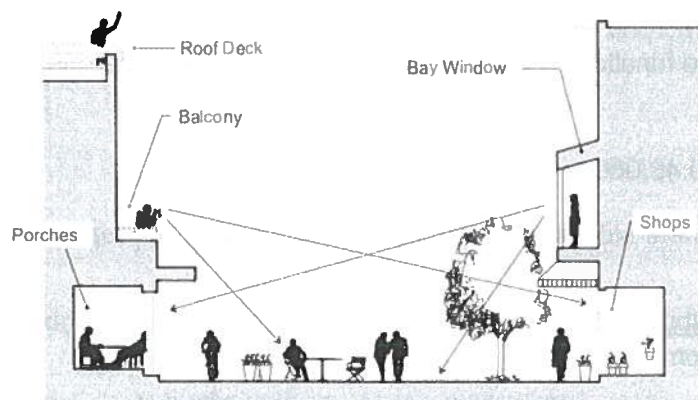


Figure C.5.1.b. Passive surveillance conditions.

- c. Lighting. Provide security and pedestrian lighting per Section D.4.

- d. Appropriate natural access control. Provide features that delineate where the general public should not enter without an invitation. For example, a low fence or hedge (two-four feet high) can indicate that people should not enter a yard or open space except through a gate or opening. Access control shall not limit visibility or passive surveillance.
- e. Spatial definition of residential territory. This means clearly indicating through site planning and design measures what parts of the site are open to the public and what parts are not. For example, in residential development, pedestrian-oriented elements and walkways indicate that the public is welcome but fenced areas with a gate do not. Also, well maintained sites indicate that someone cares for the site and tends to discourage crime.



Figure C.5.1.c. Two examples of access control and spatial definition. The gateway and landscaping of the left example clearly indicates that the courtyard is a private space while still being welcoming. The pathway and courtyard complex on the right provides levels of privacy through the gateway structure and more actively with the gate in the rear ground.

C.6. Relationship to Adjacent Properties

INTENT:

- To protect the privacy of residents on adjacent properties.
- To promote the functional and visual compatibility between developments.

GUIDELINES:

See also: WCC 10.46.080.

C.6.1. Balconies near side and rear property lines adjacent to property in any residential zone.

- a. Applicability: This guideline applies to all residential and mixed-use development.
- b. Balconies and rooftop decks overlooking residentially zoned property. Balconies and rooftop decks above the ground floor within 15 horizontal feet of a side property line abutting a residentially zoned property must feature a railing system that is at least 50 percent opaque. Specifically, 50 percent of the area below the top edge of the railing must be a sight-obscuring structure.

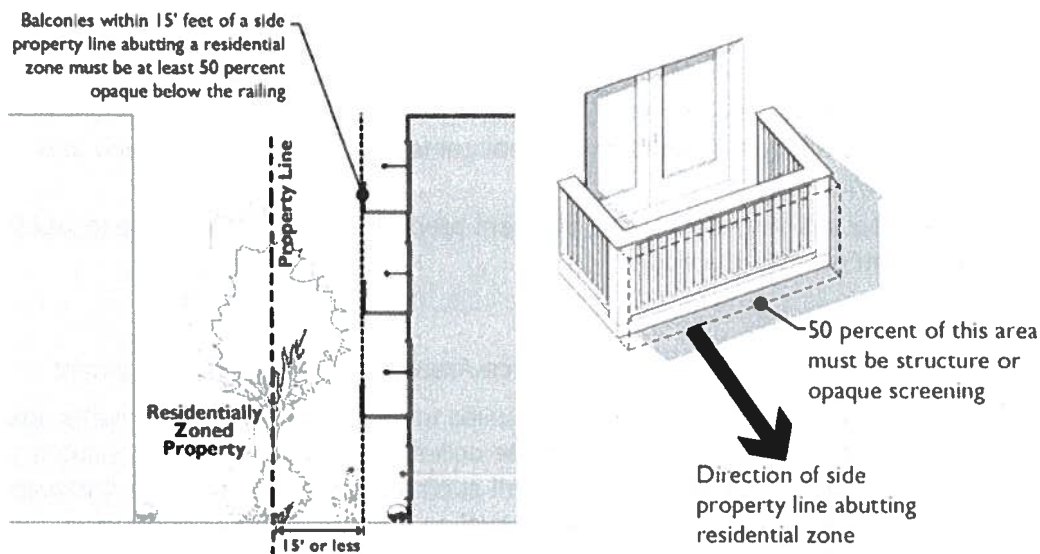


Figure C.6.1.a. Privacy standards for balconies within 15 feet of side or rear property lines.

C.6.2. Light and air access and privacy near interior side and rear property lines.

Buildings or portions thereof containing multifamily dwelling units whose only solar access (windows) is from the applicable side or rear of the building (facing towards the side or rear property line) must be set back from the applicable side or rear property lines at least 15-feet. See Figure C.6.2.b.

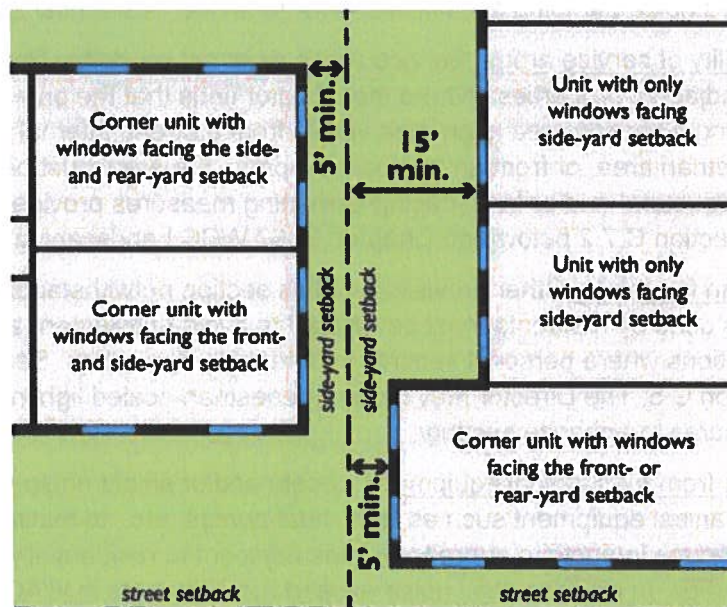


Figure C.6.2.b. Light/air access and privacy standards for multifamily residential buildings along side and rear property lines. Note that the minimum setbacks noted above only apply to buildings (and portions thereof) featuring the stated characteristics.

C.7. Service Areas and Mechanical Equipment

INTENT:

- To minimize adverse visual, odor, and noise impacts of mechanical equipment, utility cabinets and service areas at ground and roof levels.
- To provide adequate, durable, well-maintained, and accessible service and equipment areas.
- To protect residential uses and adjacent properties from impacts due to location and utilization of service areas.

GUIDELINES:

C.7.1. Location of Ground Related Service Areas and Mechanical Equipment

- a. Applicability: This guideline applies to all residential developments addressed in these Guidelines that include collective or joint use ground related service areas or mechanical equipment such as loading docks, trash dumpsters, storage areas, compactors, recycling areas, electrical panels, and mechanical equipment.

- b. Service areas. Service areas must be located for convenient service access while avoiding negative visual, auditory, olfactory, or physical impacts on the streetscape environment and adjacent residentially zoned properties. Service areas must be sited for alley access if available.

The Director may require evidence that such elements will not significantly impact neighboring properties or public areas. (For example, the Director may require noise damping specifications for fans near residential zones.)

- c. Visibility of service areas. Service areas must not be visible from the sidewalk and adjacent properties. Where the Director finds that the only option for locating a service area is an area visible from a street, internal pathway or pedestrian area, or from an adjacent property, the area must be screened with structural and or landscaping screening measures provided in Subsection C.7.2 below and Chapter 10.62 WCC Landscaping.
- d. Design for safety. Other provisions of this section notwithstanding, service areas used by residents must be located to avoid entrapment areas and other conditions where personal security is potentially a problem. See Guidelines in Section C.5. The Director may require pedestrian-scaled lighting or other measures to enhance security.
- e. Noise from mechanical equipment. Locate and/or shield noise producing mechanical equipment such as fans, heat pumps, etc., to minimize sounds and reduce impacts to at property lines adjacent to residentially zoned properties. In no case shall noise exceed the standards in WAC173-60.
- f. Waste storage and removal (dumpster) storage areas.
 - i. Waste storage and removal areas must be provided for all mixed-use and multifamily development.

- ii. Dumpster storage areas must be on-site and must not be located in the public right-of-way.
- iii. Dumpster storage areas for garbage, recycling, and composting must be sized and located to meet the requirements of solid waste collection and practices and are subject to the approval by the Wenatchee Public Works Department.

C.7.2. Screening of Ground Related Service Areas and Mechanical Equipment

- a. Applicability: This guideline applies to all developments that include collective or joint use service areas or mechanical equipment and where the adverse effects of those elements cannot be adequately mitigated through location.
- b. Structural enclosure. A structural enclosure must be constructed of masonry, heavy-gauge metal, or decay-resistant material that is also used with the architecture of the main building. The reviewing authority may allow materials other than those used for the main building if the finishes are similar in color and texture or if the proposed enclosure materials are more durable than those for the main structure. The walls must be sufficient to provide full screening from the affected roadway, pedestrian areas or adjacent properties. The enclosure may use overlapping walls to screen dumpsters and other materials (See Figure C.7.2.a) below).
- c. Enclosure gates. Gates must be made of heavy-gauge, site-obscuring material. Chain link or chain link with slats is not an acceptable material for enclosures or gates.
- d. Collection areas. Collection points must be located and configured so that the enclosure gate swing does not obstruct pedestrian or vehicle vehicular traffic or does not require that a hauling truck project into any public right-of-way. Ensure that screening elements allow for efficient service delivery and removal operations.
- e. Landscape screening. The sides and rear of service enclosures must be screened with landscaping at least five feet wide in locations visible from the street (except for alleys), parking lots, and pathways to soften views of the screening element and add visual interest.



Figure C.7.2.a. Both examples use durable and attractive enclosures with trees and shrubs to soften views of the enclosures from the side. The right example uses a trellis

structure on top – a desirable example particularly where the top of the enclosures are visible from surrounding buildings, streets, and pathways (due to topography or building heights).

C.7.3. Location and Screening of Roof Mounted Mechanical Equipment

- a. Applicability: This guideline applies to all developments that include roof mounted mechanical equipment and where the adverse effects of those elements cannot be adequately mitigated through location.
- b. Rooftop equipment screening: All rooftop mechanical equipment, with the exception of solar panels and roof-mounted wind turbines, including air conditioners, heaters, vents, and similar equipment must be fully screened from public view at the street level. Screening must be located so as not to interfere with operation of the equipment.
- c. Design of rooftop equipment screening: All rooftop equipment screening devices must be well integrated into the architectural design through such elements as parapet walls, false roofs, roof wells, clerestories, or equipment rooms. Screening walls or unit-mounted screening is allowed but less desirable. The screening materials must be of material requiring minimal maintenance and must be as high as the equipment being screened. Wood must not be used for screens or enclosures. Louvered designs are acceptable if consistent with building design style. Perforated metal is not permitted.
- d. Location of rooftop equipment screening: Locate and/or shield noise producing mechanical equipment such as fans, heat pumps, etc. to minimize sounds and reduce impacts to not at property lines adjacent properties.

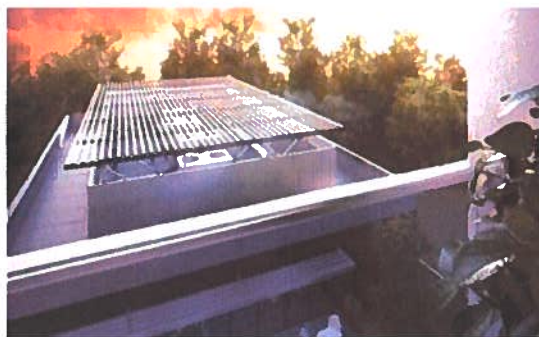
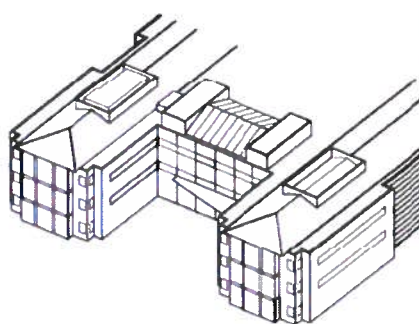


Figure C.7.3.a. Two examples of effective rooftop equipment screening. The left illustration shows how rooftop mechanical equipment can be located and screened effectively. The right images shows effective location and screening, including side walls and a trellis to screen views from surrounding taller buildings.

C.7.4. Utility meters, electrical conduit, and other service utility apparatus.

- a. Applicability: This guideline applies to all residential developments covered by these Guidelines.
- b. Visibility of utility meters, electrical conduit, and other service utility apparatus. These elements must be located and/or designed to minimize their visibility to the public and specifically not in the front setback or front of building. Project designers are strongly encouraged to coordinate with applicable service providers early in the design process to determine the best approach in meeting these standards. If such elements are mounted in a location visible from the street, pedestrian pathway, shared open space, or shared auto courtyards, they must be screened with vegetation and/or integrated into the building's architecture.



Figure C.7.4.a. Place utility meters in less visible locations. The left example successfully tucked the meters in a less visible location and/or screened by vegetation. The right example is poorly executed and would not be permitted in visible locations but may be acceptable on an alley or in a screened service area. Such meters must be coordinated and better integrated with the architecture of the building.

D. Site Design Elements

This section addresses the elements located on the site other than primary buildings. Whereas Section C may address the location, size, and configuration of elements such as landscaping, lighting, walkways, etc., Section D addresses the quality and character of such elements.

D.1. Landscaping: Plant Materials and Screening

INTENT:

- To encourage the abundant use of landscaping in site and development design to improve site aesthetics, enhance the pedestrian experience, and increase environmental quality.
- To reduce surface water runoff by percolating water through landscaped areas.
- To maintain and improve privacy for residential zones.
- To enhance buildings and open spaces.
- To make adjacent uses more compatible.
- To provide visual relief from roadways, parking areas, and the built environment.

GUIDELINES:

D.1.1. Reference to Chapter 10.62 WCC Landscaping and Screening.

- a. Applicability: This guideline applies to all residential development addressed in these guidelines.
- b. Chapter 10.62 WCC. The landscaping standards of Chapter 10.62 WCC shall apply to all development addressed by these Guidelines, including duplexes and parking areas serving multiple units. The provisions of these guidelines are intended to supplement those standards. If there is a conflict between the provisions of these guidelines and those of 10.62, the Director will determine those that apply. Exceptions to 10.62 WCC noted below apply.

D.1.2. Perimeter landscape buffer and screening.

- a. Applicability: See WCC Chapter 10.62 for requirements for different zoning classifications. The Director may allow alternative solutions per WCC 10.62.050.

D.1.3. Parking lot landscaping.

- a. Applicability: See WCC Chapter 10.62 for requirements for different zoning classifications. The Director may allow alternative solutions per WCC 10.62.050.

D.1.4. Landscaping of open spaces and yards.

- a. Applicability: See WCC Chapter 10.62 for requirements for different zoning classifications. The Director may allow alternative solutions per WCC 10.62.050.

D.2. The Design of Walkways, Pathways, and Hardscape Elements

INTENT:

- To provide attractive internal pedestrian routes, promote walking, and enhance the character of the area.
- To provide safe and direct pedestrian access that accommodates pedestrians of all ages and abilities, minimizes conflicts between pedestrians and vehicular traffic, and provides pedestrian connections to neighborhoods.
- To accommodate bicyclists.

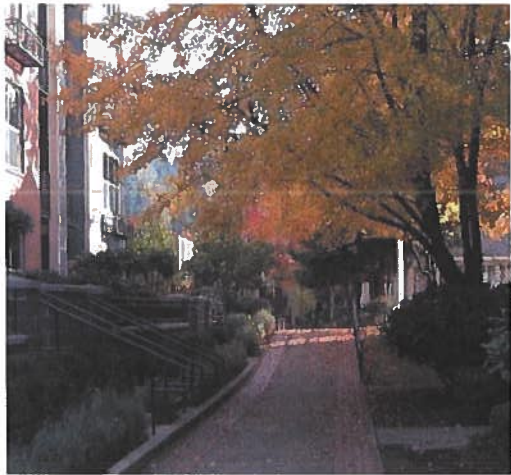


Figure D.1.4.b. Well-designed pedestrian ways are important in residential development.

GUIDELINES:

D.2.1. Accessibility

- a. Applicability: This guideline applies to all pathways and open spaces that are required as part of residential development by these guidelines.
- b. Walkway widths. Walkways in developments (not within the public right of way) shall be sufficiently wide to serve their intended purpose and level of use. All required walkway width dimensions above are to be clear of permanent obstructions.
 - i. All walkways and pathways shall be at least five feet wide with widened areas for two wheelchairs to pass, except for walkways for very occasional use such as paths to a service area serving a single residential unit.
 - ii. Walkways to main entrances to commercial businesses in mixed-use and live-work buildings shall be at least six feet wide.
 - iii. Walkways where bicycle traffic is anticipated shall be at least 10 feet wide with two feet wide shoulders, signed, and configured for safe pedestrian traffic as well as bicycle movement.
- c. Walkway safety. Provide clear visibility along the walkway in developments (outside the public right of way). For safety and wayfinding, landscaping shall not block visibility to and from a path in a way that conflicts with the

guidelines in Section C.5. Site Planning for Security. Maximize visibility where paths cross vehicle routes such as alleys and driveways so that pedestrians and drivers can clearly see each other.

- d. Walkway enhancements. Where walkways in developments (outside the public right of way) are within five feet of a “blank wall” measured perpendicularly to the wall (see Section E.7), at least one of the following measures must be incorporated:
 - i. Blank wall treatment per Section E.7, or
 - ii. A landscaped strip, at least three feet wide between the wall and the walkway featuring shrubs, trees, and/or vines as approved by the Director. The landscaping shall meet the standards of WCC 10.62 Landscaping.
- e. Separation from the front façades of residential units. See C.1.1. Ground related units facing streets, common pathways, or common open spaces.
- f. Paving. The paving of walkways from a residential entry to another residence or to a public ROW must comply with universal accessibility needs. Such pavements must be concrete, unit pavers, or material meeting the standards of Americans with Disabilities Act (ADA).

D.3. Residential Open Space Elements

INTENT:

- To provide the amenities and features that make the required common space usable for its intended purpose.
- To provide residents of multi-family units, cottage housing bungalow courts, and courtyard apartments a comfortable opportunity to socialize.
- To increase the livability of the residences in the development.

GUIDELINES:

D.3.1. Landscape features and equipment

- a. Applicability: This guideline applies to residential development that includes common open space.
- b. Ground plane features. Provide lawn area, plantings, and/or pavements that are conducive to residents' activities. This may include a broad range of activities from relaxing on seating, picnicking, low intensity informal play on a lawn, gardening, children's playground play, or active sports such as basketball. Large areas (six square feet or more) of bare earth or gravel are not permitted as part of the common open space unless they are part of a specific use such as a garden or sports field.
- c. Equipment. Play equipment and similar features must be solid, durable, and designed not to present a hazard.
- d. Natural features. Natural features such as trees, native vegetation, or water bodies may be incorporated into the common open space as long as they

enhance the experience of people using the space (e.g.: if they provide an attractive element for viewing.)



Figure D.3.1.a. Example of natural element that may be considered as part of a required residential open space because the trail provides a distinct amenity for residents.

- e. Lighting. See D.4 below.

D.4. Lighting

INTENT:

- To encourage the use of lighting as an integral design component to enhance buildings, landscaping, or other site features.
- To increase personal safety and security.
- To increase night sky visibility and reduce the general illumination of the sky.
- To reduce horizontal light glare and vertical light trespass from a development onto adjacent parcels and natural features.
- To increase design consistency within the development.

GUIDELINES:

D.4.1. Lighting Levels and Shielding

- a. Applicability: This guideline applies to all multi-family development including duplexes, tri- and fourplexes, townhouses, and courtyard apartments.
- b. Site lighting levels. All publicly accessible areas shall be lighted with levels as follows:

Condition	Lighting levels in foot-candles on the ground		
	Minimum	Maximum	Preferred
Low or non-pedestrian and vehicular traffic areas, private parking lots, secure storage areas, etc.	.5	1.5	.5
Moderate pedestrian areas and building entries, most walkways, some pedestrian-oriented open spaces, etc.	1	4	2
High pedestrian areas such as building entries and areas where personal security is a concern	2	4	3
Public parking lots	.5	1.5	.5

The maximum exterior light level anywhere is four foot candles, measured on the ground. Lighting shall be provided at consistent levels, with an average lighting level to minimum lighting level uniformity ratio no less than 3:1, to create gradual transitions between varying levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.

- c. Light quality, height, and shielding. Adhere to the following unless there is a compelling reason to the contrary:
 - i. Parking area lighting fixtures shall be fully shielded; dark sky rated and mounted no more than 15 feet high with lower fixtures preferable to maintain a human scale.
 - ii. Exterior lighting shall not spill onto adjacent properties.
 - iii. Ground mounted lighting shall have a maximum height of 15 feet.

D.5. Fences, Walls, and Vertical Elements

INTENT:

- To ensure that site features such as walls, fences, poles, gates, and screens are well constructed and easily maintainable.
- To enhance the pedestrian environment and the general appearance of residential neighborhoods.

GUIDELINES:

D.5.1. Requirements for fences and walls

- a. Applicability: This guideline applies to all residential and mixed-use development covered by these guidelines.

- b. General fence standards: Meet the requirements of WCC 10.48.130 unless otherwise directed below.
- c. Visibility. Except where full screening of service areas, utilities, mechanical equipment, or other facilities is necessary, fences shall not obscure building fronts, or attractive site features, or sight triangles needed for safety in accordance with 10.48.130. See also Guidelines Section C.5.
- d. Fences and walls shall be made of durable, easily maintainable, and vandal-resistant materials. To reduce the likelihood of graffiti, avoid walls with smooth surfaces unless they can easily be repainted or cleaned.
- e. Chain link fences are discouraged but allowed along the street facing fronts of residential development except for multifamily development. Chain link fences are prohibited in street front setbacks of multifamily residences. Chain link fences may be used for temporary purposes such as construction or short-term security. Where permanent chain link fences are employed, they must be black vinyl coated.
- f. Chapter 10.48.130 notwithstanding, fences in street front setbacks noted in WCC 10.46.020 and WCC 10.46.030 shall be no taller than 42 inches above grade. (And preferably no taller than 36 inches above grade).



Figure D.5.1.a. The fences on the top row are appropriate in residential zones. Those on the bottom left two examples are not acceptable within street front setbacks. However, they may be acceptable alongside and rear yard setbacks.

- g. Where a retaining wall adjacent to a public sidewalk is necessary for development, step the wall back so that the top of the wall surface adjacent to the sidewalk is no more than 30 inches high. If greater height is required, construct terraces or slopes that do not exceed 30 inches vertical to 18 inches horizontal (5 vertical to 3 horizontal). See Figure D.4.1.b and D.4.1.c. The Director may allow other configurations, such as a higher wall set back from the sidewalk and landscaped, provided such a wall is necessary for development and the objectives of this section are achieved.

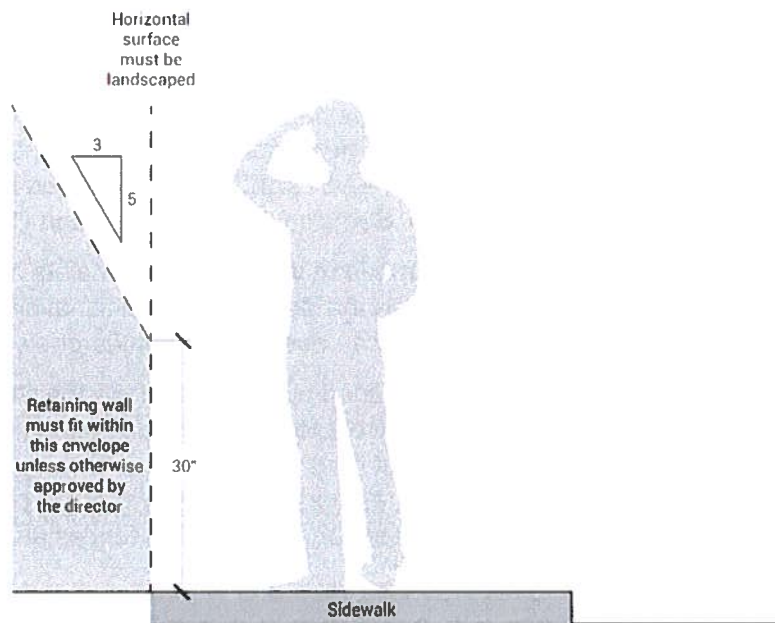


Figure D.5.1.b. Allowed envelope for walls in street front setback.

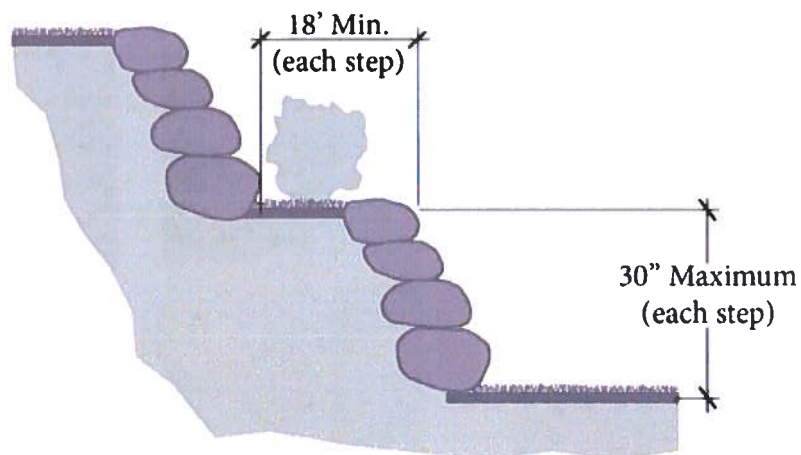


Figure D.5.1.c. Allowable terrace configuration for wall or rockery adjacent to a public sidewalk. Note that this illustration shows a stone wall, but other masonry and concrete walls are acceptable as well.



Figure D.5.1.d. Examples of appropriate measures to handle grade change in street front setbacks.

- D.5.2. Poles and other vertical elements outside of the public right of way. (Note: This guideline does not apply to desirable vertical elements intended to enhance the pedestrian environment such as weather protection, flag poles, banners, supports for hanging flower baskets, trellises, and supports for green walls.)
- a. Minimize vertical site elements on property outside of a public right of way except for those intended specifically to add to the pedestrian environment.
 - b. Wires and other hanging features are prohibited except for otherwise allowed temporary features such as permitted signs.
 - c. See also guidelines for service areas and mechanical equipment, Section C.7.

E. Building Design

E.1. General

Many of these building design guidelines call for a building to feature one or more elements from a menu of items. In these cases, a single element, feature, or detail may satisfy multiple objectives. For example, a specially designed or fabricated covered entry with attractive detailing might be counted toward requirements for architectural character, human scale, building corners, and building details.

The terms “decorative” and “ornamental” are not necessarily meant to mean “characterized by traditional patterns, nonstructural elements, or applied markings.” Elements may be considered “decorative,” “ornamental,” or “special” if they extend beyond the typical level of quality, use materials or forms in an unusual way, or show special architectural consideration. The Director shall determine what elements are “ornamental,” “decorative,” or “special.”

E.2. Architectural Character

INTENT:

- To reinforce a distinct building design character for Wenatchee's neighborhoods.
- To create more design continuity and compatibility between nearby building façades.
- To integrate new residential building types into Wenatchee's design character.
- To create attractive and functional streetscapes.
- To allow for creativity in the design of new buildings.

GUIDELINES:

E.2.4. Architectural Character of Different Residential Areas

- a. Applicability: This guideline applies to all residential development except for single family residences.
- b. Rationale and objectives. As noted in Section B.2, one of the objectives of these guidelines is to reinforce the architectural design character of different neighborhoods or areas within the City. Although buildings in all of Wenatchee's neighborhoods feature different architectural styles and characteristics, there are subtle differences between different areas in the City, generally as a result of the period of construction, topography, environmental context, and economic factors. For example, newer residential districts in the Perimeter Residential Neighborhoods Character Area often feature buildings with prominent garages, more picture windows, a more horizontal configuration, smaller porches, more complex rooflines, and in the case of multi-family construction, fewer details and more contemporary building materials. Appreciating and reinforcing such characteristics can, if frequently employed by property owners, give a neighborhood the unique identity that is desired. While the vast majority of buildings in Wenatchee's

residential zones are single family houses, they provide a context for new, sometimes larger buildings accommodating a wider variety of dwelling types. Therefore, if the new buildings can feature some of the local area's architectural features, they will likely fit better into the neighborhood and reinforce its neighborhood character.

The intent of this guideline is not to apply a strict set of standards to produce a homogenous neighborhood with little variety. Therefore, the applicant is given a variety of options to address the requirement.

- c. Character Area specific architectural design requirements. In the design of new residential buildings, incorporate elements and characteristics relevant to the applicable Character Area defined in Section B.2. The following chart identifies those architectural design characteristics that are typical of the individual Character Areas. The applicant shall demonstrate to the Director's satisfaction that the project incorporates the architectural design elements and characteristics indicated in the chart. If there is a disagreement between the Director and the applicant regarding the adherence to this guideline, the matter will be referred to the Wenatchee Planning Commission who will make the final decision.

Development in the Core and Perimeter Neighborhoods Character Area must incorporate at least four of the elements noted by dots in that column. Those in the Sunnyslope Character Areas must incorporate at least two of the elements indicated. Development in the Greater Downtown and North/South Wenatchee Business Districts. District must incorporate at least three of the indicated elements if the project is a new building.

The chart emphasizes that the applicant may proposed other architectural design measures to meet one of the minimum required elements (see the chart for details). The project may also include other architectural design features in addition to those required by this guideline. Nothing in this guideline is intended to limit the creativity or uniqueness of an architectural design proposal, so long as it does include the measures previously noted to enhance the local neighborhood as a whole.

TYPICAL CHARACTER AREA ARCHITECTURAL ELEMENTS

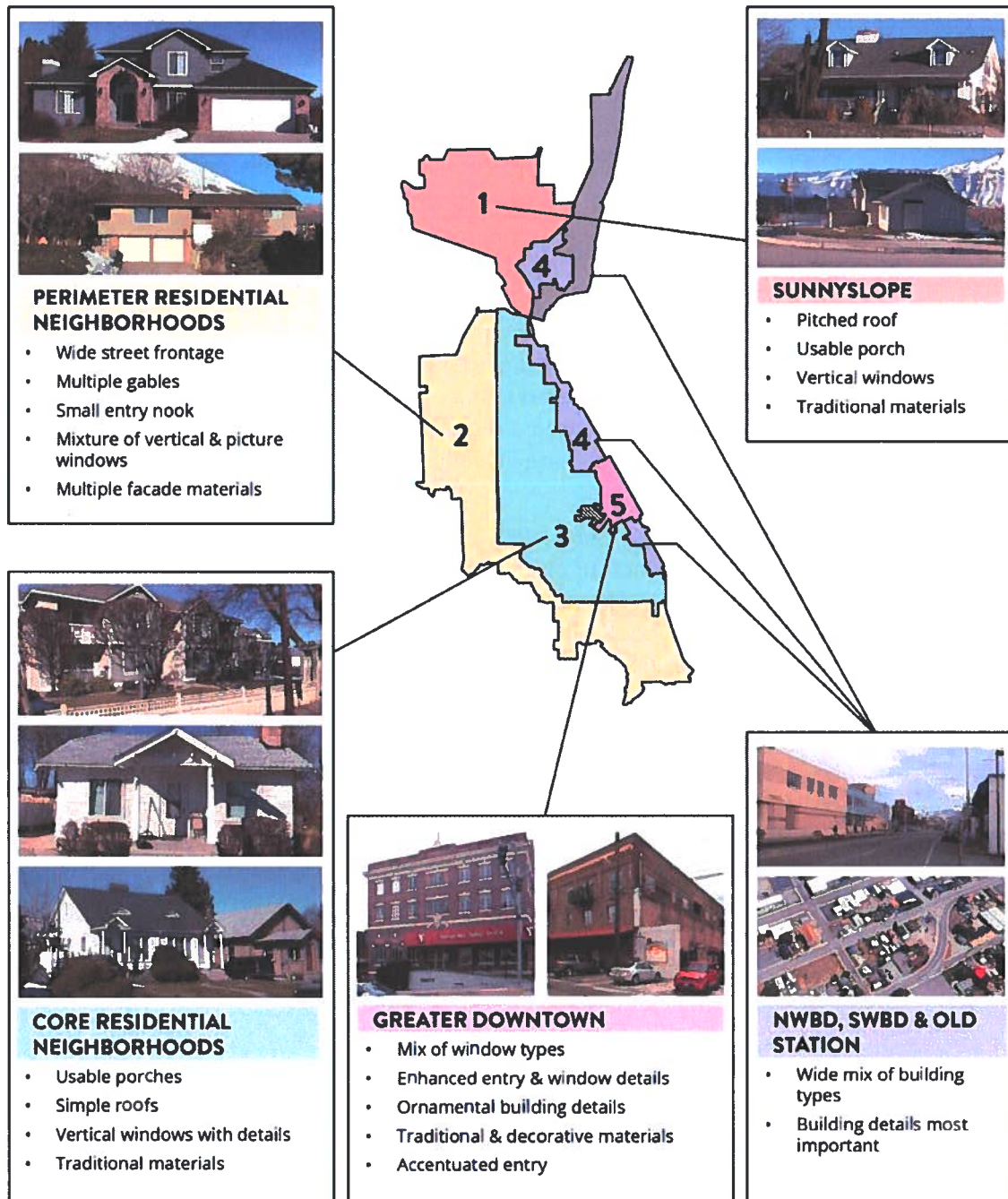


Figure E.2.4.a. Typical architectural characteristics of different character areas.

Character Giving Architectural Elements	Character Areas				
	Core Residential Neighborhoods	Perimeter Residential Neighborhoods	Sunnyslope	North and South Wenatchee Business Districts	Greater Downtown District
Narrow (less than 12') or no garage	●				
Multiple gables	●	●			
Horizontal building form (building wider than tall)		●	●		
Pitched roof	●	●	●		
Porch large enough for resting	●		●		
Picture windows		●	●	●	●
Vertical windows	●	●	●	●	●
Window and door details	●	●		●	●
Ornamental materials or details				●	●
Traditional building materials (brick, wood siding, wood shingles)	●	●	●	●	●
Wildland/Urban Interface non-flammable building materials		●	●		
Accentuated entry in a large building				●	●
Modulation of large façades	●	●			
Other (as approved by the Director)*	●	●	●	●	●
Number of characteristics a project must include	4	4	2	3	3

* The applicant may propose other architectural design measures (for one of the minimum required elements). These may be features that are common in nearby residences (by providing a rationale with illustrative photos of nearby lots to the City) or may be other design

features that demonstrably meet the guideline's intent. The Director will determine whether or not the proposal is acceptable.

- d. Exception: Renovations to existing buildings in the Greater Downtown. Exterior renovations and additions to existing buildings do not need to meet the requirements of Section E.2.

E.3. Architectural Composition, Massing, and Articulation

INTENT:

- To employ façade articulation techniques to reduce the perceived scale of large buildings and add visual interest from all observable scales.
- To create a neighborhood-oriented streetscape that is visually interesting.
- To create clear and welcoming building entries.
- To encourage development that is compatible with buildings on the same block in terms of "architectural scale." Architectural scale is the perceived height and bulk of a building relative to that of neighboring buildings.
- To add visual interest to buildings.

DEFINITIONS:

- **Architectural scale** is the perceived height and bulk of a building relative to that of neighboring buildings. A building has "good architectural scale" if its visual size is relatively similar to its neighbors.
- **Modulation** is a stepping back or projecting forward of portions of a building face, within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls. (Ref: WCC 10.08.100.M). "Vertical modulation" means that the stepping or projecting is vertical. (See Figure E.3.1.b, left picture.)
- **Articulation** is visually breaking up a building façade into intervals by including repetitive features, such as broken rooflines, chimneys, entrances, distinctive window patterns, street trees, and modulation.

GUIDELINES:

E.3.1. Scale compatibility and façade variety.

- a. Applicability: This guideline applies to all residential development except single family homes and accessory dwelling units. Some requirements only apply to specific residential building types as noted.
- b. Façade articulation for residential buildings and residential portions of mixed-use buildings. Residential portions of new buildings shall include articulation features at intervals no greater than indicated for individual house types as follows to break up the massing of the building and add visual interest and

compatibility to the surrounding context. Also noted are special requirements for façade composition for applicable types.

- Cottage housing. Not required.
- Duplex, Triplex, and Fourplex. 30 feet maximum width without articulation. Note: this may be accomplished by setting back a garage or by an extended porch or entry platform. Methods which may be utilized to achieve visual diversity include, but are not limited to, differing siding material or style, building modulations, and roof line variations.



Figure E.3.1.a. The attractive duplex is in one of Wenatchee's predominantly single family neighborhoods and articulates a simple rectangular floor plan with porches, window patterns, and eyebrow windows.



Figure E.3.1.b. Two examples of modulation effectively used on a duplex (left) and a triplex (right).

- Townhouses. The maximum façade width without articulation shall be no greater than three-fourths ($3/4$) of the width of the unit or 15 feet, whichever is greater. This means that the façade of each unit must feature some articulation as exemplified by Figure 3.1.c, below.



Figure E.3.1.c. The units in the left image each have distinct, but identical windows and roof forms. The outside unit on the right is differentiated through the use of building materials, window design, unit size, and façade detailing. The units in the right example include reverse elevations that add to the building's composition.

- **Courtyard multifamily.** For façades facing the courtyard or internal pathway, the maximum façade width without articulation shall be no greater than the width of the unit. For façades facing the street, the maximum width without articulation is 30 feet.



Figure E.3.1.d. Four examples of articulation in courtyard complexes. Some use simple gables only while others are enhanced with building elements. The example on the lower right incorporates an asymmetrical arrangement of building forms to add interest to an otherwise uniform architectural scheme.

- **Multi-family.** The maximum façade width without articulation shall be no greater than the width of the unit.



Figure E.3.1.e. Examples of articulation of multifamily residential building façades. All examples use window fenestration and vertical building modulation elements. The upper examples use a mixture of material changes and detail components to further articulate the façades. In the lower left example, the balcony element's dramatic mix of color, material, and projection are effective in meeting the standards. The lower right example adds a combination of materials, color changes, and building modulation to help meet the following standards.

- Live-work residences. The maximum façade width without articulation shall be no greater than the width of the unit.
- Mixed-use with residential on upper stories. The maximum façade width without articulation shall be no greater than the width of the unit.

At least three of the following features shall be used at intervals previously indicated.

- i. Use of window patterns and/or entries.

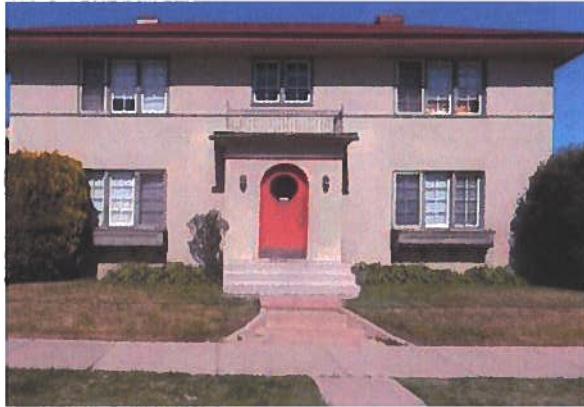


Figure E.3.1.f. This handsome house in a Core Residential Character Area uses window patterns and planter boxes as well as an entry feature to articulate its façade, rather than modulation and material changes.

- ii. Change in building material, siding style, and/or window fenestration pattern.
- iii. Vertical building modulation of at least three feet in depth (extending out or stepping back from the building face), or two feet if the modulation is accompanied by roof modulation or change in materials. Balconies may be used to qualify for this option if they are recessed or projected from the façade by at least two feet. "Juliet balconies" (balconies that are so shallow that they cannot be occupied) or other balconies that appear to be tacked onto the façade will not qualify. The depth of the modulation must be at least three feet if not accompanied by roof modulation or a change in materials.



Figure E.3.1.g. Examples of acceptable vertical modulation. The example on the left features the stepping back of façade elements as well as different materials, colors and rooflines. In the example on the right, the balconies that have been integrated into the architecture of the building.

- iv. Vertical elements such as a trellis with plants, green wall, or art element.
- v. Roofline modulation. In order to qualify as a façade articulation feature, rooflines shall employ one or more of the following:
 - Different roof heights. For flat roofs or façades with horizontal eave, fascia, or parapet, the minimum difference between the two sections of

roofline or cornice is three feet for one and two story buildings and five feet for buildings with more than two stories.

- A pitched roofline or gabled roofline segment. The pitched or gable roof shall be at least 20 feet in width with a minimum slope of 4:12.
- An arched roof line or a roof with special geometry or an unusual or distinctive roof element such as an arch, tower, clock, or similar feature as an articulating feature.

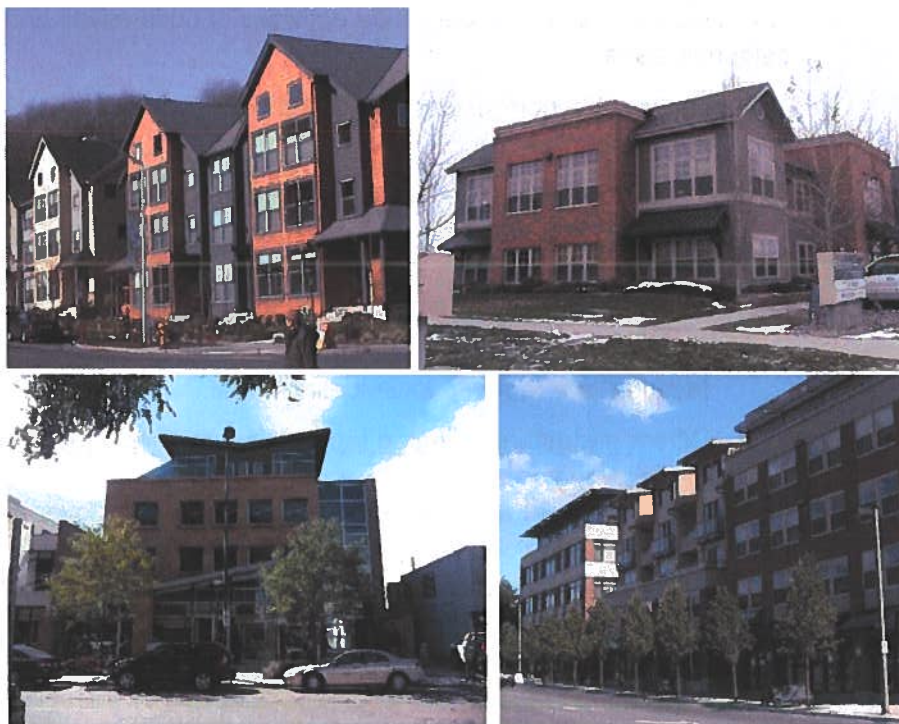


Figure E.3.1.h. Four examples meeting the criteria for roofline modulation.

- vi. Distinctive building elements such as bay windows, balconies, and weather protection over windows.
- vii. Any other design technique that effectively break up the massing at no more than the intervals previously stated such as prominent and "structural" landscaping such as evergreen trees or landscaping that varies according to the articulation intervals listed above such as individual gardens or courtyards situated along the front building facade.

E.4. Pedestrian-Oriented Façades for Mixed-Use Buildings and Transparency for Residential Buildings

INTENT:

- Provide a consistently interesting pedestrian environment.
- Strengthen retail activities in Downtown Wenatchee.
- Allow pedestrians to view the inside activities of businesses and associated non-residential uses.
- Provide accessible non-residential ground floor space that is adaptable to a variety of uses.
- Increase safety by adding "eyes on the street or open space".

GUIDELINES:

E.4.1. Pedestrian-Oriented Façades

- a. Applicability: This guideline applies to buildings where "pedestrian-oriented façades" are required in Guideline C.1.2.
- b. Where pedestrian-oriented façades are required, the building shall meet all of the following:
 - i. Transparent window areas or window displays over at least 75 percent of the ground floor façade between two feet and eight feet above the sidewalk. The windows shall look into the building's interior or be configured as merchandise display windows. The building must be designed so that the windows satisfying the requirement for "pedestrian-oriented façades" do not look into service or storage areas or other unsightly rooms.

Special purpose buildings such as theaters that do not sell merchandise may propose an alternate solution to providing an interesting pedestrian experience. Offices, banks, and restaurants do not qualify for this exception because they are uses that can provide the required transparency without compromising their functions. If the applicant's proposal includes windows that are not fully transparent to satisfy this requirement, the alternative materials must be approved by the Director.
 - ii. A primary building entry facing the street front. (See Section E.5 for entry enhancement requirements.)
 - iii. Weather protection (e.g. canopy, awning, or other cover from the rain) at least five feet wide over at least 65 percent of the front façade. The weather protection must be located between eight feet and 15 feet above grade unless the Director determines there is a compelling reason to the contrary.
 - iv. A floor to floor ground floor height of at least 15 feet. The Director may

waive this requirement if there are special conditions such as the provision of a mezzanine.

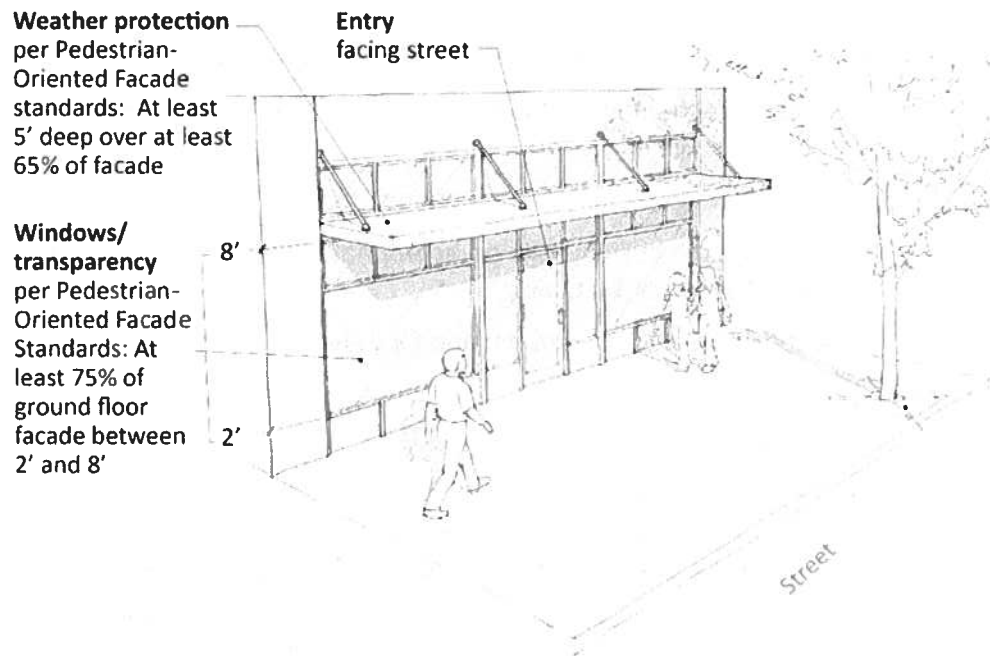


Figure E.4.1.a. An example of a pedestrian-oriented façade.

E.4.2. Transparency for residential buildings facing the street.

- a. **Applicability:** This guideline applies to all residential buildings and residential portions of mixed-use buildings.
- b. **Transparency:** All residential building façades directly facing a public street, common open space, or common pathway shall feature at least the minimum amount of clear window area as a percentage of the total façade area. Note: windows in doors and on balconies may be counted.
 - i. For ground floor residential units facing the public or private street (except an alley), common open space or pathway: at least 15% of the street facing façade.
 - ii. For living spaces on upper stories, at least 15% of the façade.
 - iii. Where the units face a common open space or pathway rather than the street, the façade facing the street must feature at least 10% transparency.

E.5. Building Details: Entrances, Windows and Corners

INTENT:

- To provide attractive and welcoming building façades and pedestrian environments.
- To increase the design quality of buildings when viewed close up (roughly within 80 feet of the building.)
- To enhance the quality of building façades.
- To provide the building with an appropriate human scale that adds interest and a sense of well-crafted quality.
- To add interest to the streetscape for those travelling in vehicles, bicycles, and on foot.

GUIDELINES:

E.5.1. Building Entrances: Configuration and Details

- a. Applicability: This guideline applies to all residential development except single family houses and accessory dwelling units.
- b. Building entries: Building entries must adhere to all of the following:
 - i. All buildings shall have a primary building entrance facing the street or onto a courtyard or pathway directly leading to the street.
 - ii. All primary building entries shall be covered with weather protection at least six feet wide and five feet deep if they serve more than one residence or at least four feet wide by three feet deep if they serve a single residence.
 - iii. All primary building entries shall feature lighting for visibility and security.
 - iv. All building entrances serving more than one residence shall feature at least one of the following:
 - Decorative or special use of a material such as colored tile or special wood molding.
 - Decorative weather protection element.
 - Etched or stained decorative glass.
 - A hand crafted sign with the name of the building.
 - Artwork.
 - A planter area.
 - Decorative entry door(s).
 - Other decorative or specially designed entry treatment that the Director determines meets the intent of this section.



Figure E.5.1.a. Examples of attractive entry details including decorative weather protection features, special lighting, interesting window patterns, and special signage.

E.5.2. Window Details

- a. Applicability: This guideline applies to all residential development except single family houses and accessory dwelling units.
- b. All residences shall feature at least two of the following measures to add quality and interest to fenestration on building façades:
 - i. Recess or project individual windows at least two inches from the façade or incorporate other design treatments that add depth, richness, and visual interest to the façade.
 - ii. Arrange the grouping of windows in a distinctive pattern.
 - iii. Incorporate multi-paned windows (more than four panes per window).
 - iv. Employ visually significant window trim or shading elements such as four inches or wider frames, lintels, or casings.
 - v. Other method approved by the Director that meets the intent of these guidelines.



Figure E.5.1.b. Examples of window details. The two on the left employ trim, multiple panes and window groupings. The one on the left right provides no refinement or sense of quality.

E.5.3. Corner Elements

- a. **Applicability:** This guideline applies to multistory mixed-use and multi-family buildings over three stories that are on designated “High Visibility Corners” indicated in figure E.5.3.a. (This Guideline does not apply to duplexes, triplexes, fourplexes, townhouses, or courtyard apartments.)
- b. All applicable buildings shall have at least one corner design feature approved by the Director that accentuate the street corner. Corner design features can include a cropped building corner with a prominent entry, decorative use of building materials at the corner, distinctive façade articulation, sculptural architectural element, or other decorative element the Director determines meets the intent of the standards. Alternatively, the building can be configured with a corner plaza.

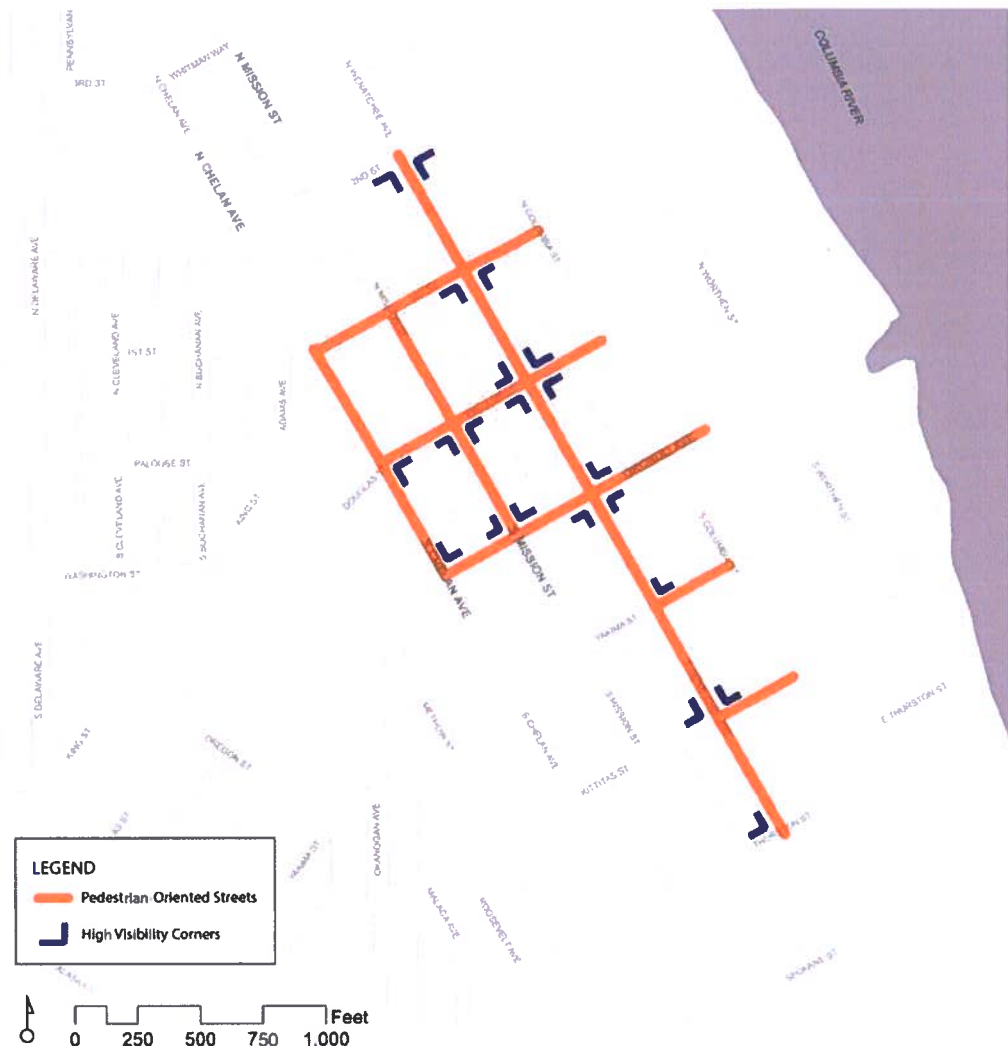


Figure E.5.3.a. Designated high visibility corners.



Figure E.5.3.b. Examples of acceptable corner treatments. The example on the right breaks down the building massing to a human scale and adds a corner entrance and graceful canopy.

E.6. Building Façade Materials

INTENT:

- Encourage the use of durable, high quality, and urban building materials that minimize maintenance cost and provide visual interest from all observable vantage points.
- Promote the use of a distinctive mix of materials that helps to articulate façades and lends a sense of depth and richness to the buildings.
- Place the highest priority for the quality and detailing of materials on the first two to three building floors.

GUIDELINES:

E.6.1. Conditions for the Use of Specific Building Materials

- Applicability: This guideline applies to all residential and mixed-use buildings except single family residences and cottage housing.
- Conditions for concrete only units (concrete block): Concrete block (a.k.a. concrete masonry unit CMU) may be used as indicated in the Permitted Materials Chart in Section E.6.2 provided special enhancements such as tile, special finishes, and colors or some other approach approved by the Director are included to add a combination of textures and/or colors.



Figure E.6.1.b. The left façade illustrates an acceptable alternative example, as CMU is used as the primary cladding material. Note the use of split-façade CMU's above each of the awnings coupled with the use of smooth-façade CMU's on the vertical columns (which employ black accent tiles for added interest.). The right façade uses smooth-faced CMU for the main entry to function as a contrast to the brick (primary façade material) and to highlight the entry details (canopy, lighting, and doors).

- c. Conditions for metal siding. Metal siding may be used as noted in Permitted Materials Chart if it is incorporated with other permitted materials and complies with the following:
- It features visible corner molding and trim and does not extend to the ground level of non-residential and mixed-use buildings and extends no lower than two feet above grade for residential buildings. Masonry, concrete, or other durable material shall be incorporated between the metal siding and ground plane.
 - Metal siding shall be factory finished with a matte, non-reflective surface.
 - Where metal siding is the primary or secondary siding material on upper floors, the layout of the panels must be coordinated with the location and patterns of windows, balconies, and modulated building surfaces to provide an integrated appearance.



Figure E.6.1.c. Metal siding used appropriately in combination with other materials. The use of metal siding in each example above is secondary to masonry. The left and right

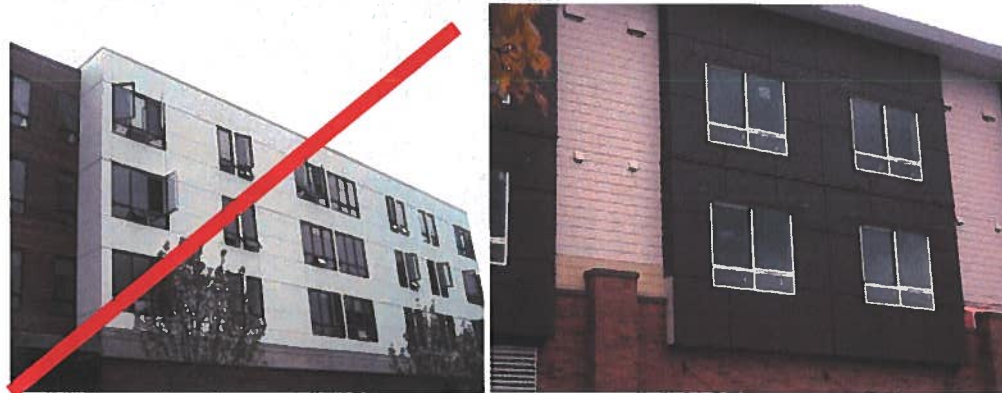
images are more contemporary in character, whereas the middle image is more rustic and industrial, with more refined windows.

d. Conditions for cement board panel systems (e.g.: Hardie Panel systems).

Cement board paneling/siding (e.g. Hardie Panel and Plank) may be used where indicated in the Permitted Materials Chart in this section, provided where cement board paneling/siding is the primary or secondary material, the paneling joints must be arranged in a pattern that is consistent with windows, balconies, and modulated building surfaces and must be enhanced with façade details that add visual interest from the ground level and adjacent buildings. Cement board paneling/siding may not be used on ground level facades containing non-residential uses.



The above building uses cementitious wall board in different textures and colors to help articulate the façade. The white color replicates the board and batten style in the left image and green color in the right image effectively replicates horizontal wood siding.



The wall board panels covering a large area in a single color would not meet the purpose of the standards. The right image is a better example and combines larger panels (dark maroon color) with horizontal wall board siding (beige color) as effective articulation features. Below is a similar acceptable example.

Figure E.6.1.d. Acceptable and unacceptable (lower left) use of panel systems.

Where cement board paneling/siding is the dominant siding material, the design must integrate a mix of colors and/or textures that are articulated consistent with windows, balconies, and modulated building surfaces and are balanced with

façade details that add visual interest from the ground level and adjacent buildings.

e. Conditions for Exterior Insulation and Finish System (EIFS).

EIFS may be used as noted in Permitted Materials Chart if it meets the following conditions:

EIFS that is subject to damage and deterioration from human contact is prohibited within 2 vertical feet of the sidewalk or ground level or in areas that are especially subject to human contact such as around a primary building entry or front façade adjacent to a sidewalk. Concrete, masonry, or other highly durable material(s) must be used for the subject ground level building elevations to provide a durable surface where damage is most likely.

- EIFS must feature a smooth or sand finish only.
- EIFS must be trimmed in wood, masonry, or other material and must be sheltered from weather by roof overhangs or other methods
- Applicants proposing to use EIFS as an exterior building material, they must submit a manufacturer's product description and warranty to the Director for approval.



Figure E.6.1.e. Examples of acceptable and unacceptable use of EIFS. Buildings 1 and 2 mix EIFS with brick and other materials and integrate trim details around windows to add a sense of depth to the façade. Building 3 uses EIFS is between the window and sidewalk - this design is prohibited. Building 4 uses EIFS as the primary siding material, which is prohibited except in the North and South Wenatchee Business District area.

- f. Conditions for wood panels and similar products.
 - Wood panels must be finished to avoid deterioration and be separated (raised above the ground at least 6"
 - Panel edges must be trimmed and the top of the panels protected from the weather. No unfinished or untrimmed edges are allowed.
 - T-111 paneling and similar products are not permitted.
- g. Conditions for ceramic tile, quarry tile and similar materials.
 - Tile and ceramic materials must be exterior grade and freeze resistant.
 - Tile and ceramic materials must be firmly grouted with exterior grade materials.
- h. Conditions for concrete construction.
 - Concrete finishes must be either smooth and featureless or purposefully textured with a consistent pattern.
- i. Conditions for stucco, stucco-like and similar troweled finishes:
 - To avoid deterioration, the finish material must be trimmed and/or sheltered from extreme weather by roof overhangs or other methods.
 - The finish material may only be used in conjunction with other approved building materials.
 - Heavily troweled markings and randomly implanted rocks into the stucco are not allowed.

E.6.2. Building Materials Allowed in Specific Character Areas

- a. Applicability: This guideline applies to all residential and mixed-use buildings except single family residences and cottage housing.
- b. Character Area and specific materials requirements. The following chart identifies where materials are permitted in each of Character Areas identified in Section B.2 according to the following markings:
 - The color green indicates the material is generally acceptable in the Character Area.
 - Yellow indicates there are some conditions or limitations for using the material.
 - Red indicates the material is not acceptable for that Character Area.
 - Primary material means any single material that covers more than 35% of the façade.
 - Secondary material means any single material that covers 35% or less of the façade.
 - Accent material means any single material used for a small building element such as a door, canopy, weather protection, light fixtures

cornice, trim (e.g. window trim), signs, or artwork.

P = Permitted as a primary, secondary, or accent material.

S = Permitted as a secondary or accent material.

A = Permitted as an accent material.

N = Not permitted.

“C” means that the material may be permitted, but the Director may require added conditions in order to ensure the durability and quality of materials provide a high level of design, construction, finish, and increase consistency with the desired design character for the particular Character Area described in B.2. See Section E.6.1.

Other materials not covered in this section will be evaluated by the Director based on the intent statement of this section. The Director may allow materials otherwise prohibited if the applicant can demonstrate to the Director's satisfaction that the material is durable, appropriate for the proposed purpose and application, and meets the objectives of this section.

PERMITTED MATERIALS CHART

Legend:	Core Res. - bottom floor	Core Res. - above first floor	Perimeter Residential	Sunnyslope	N/S Wenatchee Business Dist.	CBD
P = Permitted as a primary, secondary, or accent material.						
S = Permitted as a secondary or accent material.						
A = Permitted as an accent material.						
N = Not permitted.						
C = See details above.						
Materials						
Brick, stone, masonry except for CMU	P	P	P	P	P	P
CMU, Plain	N	N	N	S	SC	SC ¹
CMU with enhancements	SC	SC	SC	SC	P	P
EIFS	N	SC	SC	SC	PC	SC
Metal siding	N	N	SC	SC	PC	PC
Cement panels (e.g.: Hardie Panels)	PC	PC	PC	SC	PC	PC
Cement panels w/ pattern (e.g.: Hardie Plank)	P	P	P	P	P	PC
Lap siding, wood shingles or similar	P	P	P	P	PS	PS
Wood panels with special finish and texture	PC	PC	PC	PC	PC	PC

Legend: P = Permitted as a primary, secondary, or accent material. S = Permitted as a secondary or accent material. A = Permitted as an accent material. N = Not permitted. C = See details above.						
Materials	Core Res. - bottom floor	Core Res. - above first floor	Perimeter Residential	Sunnyslope	N/S Wenatchee Business Dist.	CBD
Mirrored or highly reflective surfaces	N	N	N	N	AC	N
Plastic or sheet fiberglass	N	N	N	N	N	N
Ceramic tile and similar	A	A	A	A	S	S
Concrete	C	C	C	C	C	C
Stucco	C	C	C	C	C	C

E.7. Blank Walls

For the purpose of this guideline, a "blank wall" is:

Any ground level wall surface or section of a wall over four feet in height at ground level that is longer than 15 feet as measured horizontally without having a ground level window or door lying wholly or in part within that 15 foot section.

INTENT:

- To ensure that large expanses of uniform walls visible from a public roadway or park do not detract from the local neighborhood's appearance or the pedestrian environment.

GUIDELINES:

E.7.1. Blank Wall Treatments

- Applicability:** This guideline applies to all residential structures covered in this chapter. A "blank wall" is defined as:
 - A wall or portion of a wall that has 400 SF of vertical surface without a window, door, building modulation, or other architectural feature, or
 - Any ground level wall surface or section of a wall over four feet in height at ground level that is longer than 15 feet measured horizontally without having a ground level window or door lying wholly or in part within that 15 foot section.

- b. New blank walls. Untreated blank walls facing and within 10 feet of a public street, pedestrian-oriented space, common usable open space, or pedestrian pathway are prohibited unless treated as described as follows.

At least 40 percent of the vertical wall between two feet and ten feet above grade must be treated. A combination of the methods described below may be used to achieve the 40 percent. Acceptable methods to treat blank walls can include, but are not limited to:

- A vertical trellis in front of the wall with climbing vines or plant materials.
- Transparent windows, doors or other features that allow visibility to the interior of the building.
- Trees or shrubs between the building and pathway or open space.
- Building detailing that adds visual interest at a pedestrian scale. Such detailing shall use a variety of surfaces; monotonous designs will not meet the purpose of the standards.
- Display windows at least 16 inches deep to allow for changeable displays. "Tack-on" display cases shall not qualify as a blank wall treatment. (Applicable for mixed-use buildings only.)
- Artwork such as a mural or bas-relief sculpture.
- Other method approved by the Director.



Figure E.7.1.a. Acceptable blank wall treatments.

E.8. Requirements for Above Grade Structured Parking (Multiple User Parking Garages)

INTENT:

- To minimize negative visual impacts of parking garages or above grade structured parking in buildings.

GUIDELINES:

E.8.1. Structured Parking Design

- a. Applicability: This guideline applies to all above grade structured parking including above grade parking within buildings as well as stand-alone parking garages. Exception: Structured parking and parking garages screened from

public roadways by a building (i.e. a building located between the garage and the public street) are not required to comply with these criteria.

- b. Above grade structured parking and parking garages must be designed to obscure the view of parked cars at the ground level. This does not require opaque screening that would create security issues in conflict with Section C.5 Site Planning for Security.
- c. Where the structured parking or garage wall is built within 10 feet of the sidewalk edge, the grade level façade shall incorporate a combination of artwork, grillwork, special building material, treatment, design, or other treatments as approved by the Director that enhance the pedestrian environment. Small setbacks with terraced landscaping elements can be effective in softening the appearance of a parking garage.
- d. Above grade structured parking must use articulation treatments (not necessarily building modulation) that break up the massing of the parking structure and add visual interest as described in Section E.3.1.



Figure E.8.1.a. The side of this parking garage includes decorative grillwork and a raised brick planter to enhance the pedestrian environment.



Figure E.8.1.b. This building uses openings on its second level parking area to resemble windows.



Figure E.8.1.c. Design parking garages to obscure the view of parked cars. Note the landscaping that separates the garage from pedestrians.